

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-77/25

Roll No.: 2-22-009

Owner:	Robin Wilshaw, 1237 Fish Hatchery Road, Utterson, ON, P0B 1M0		
Address & Description:	1237 Fish Hatchery Road Part of Lot 44, Concession B, (Watt)		
Zoning:	Waterfront Residential - Highly Sensitive or Over Threshold Lakes (WR4)	Lake: Not Applicable	Schedule: 16
Hearing Date: Monday, January 12th, 2026, at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

The applicant proposes to enclose an existing sundeck attached to an existing one-storey dwelling. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3	Minimum Required Front Yard Setback	66 ft.	3 ft.	63 ft.	Enclose an Existing Sundeck Attached to an Existing Dwelling
B	3.23.1	Minimum Required Setback from a Street	25 ft.	3 ft.	22 ft.	
C	4.1.3	Minimum Setback from an Easterly Exterior Side Lot Line	30 ft.	27 ft.	3 ft.	

A key map of the subject property and the applicant's site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: January 7, 2026.

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

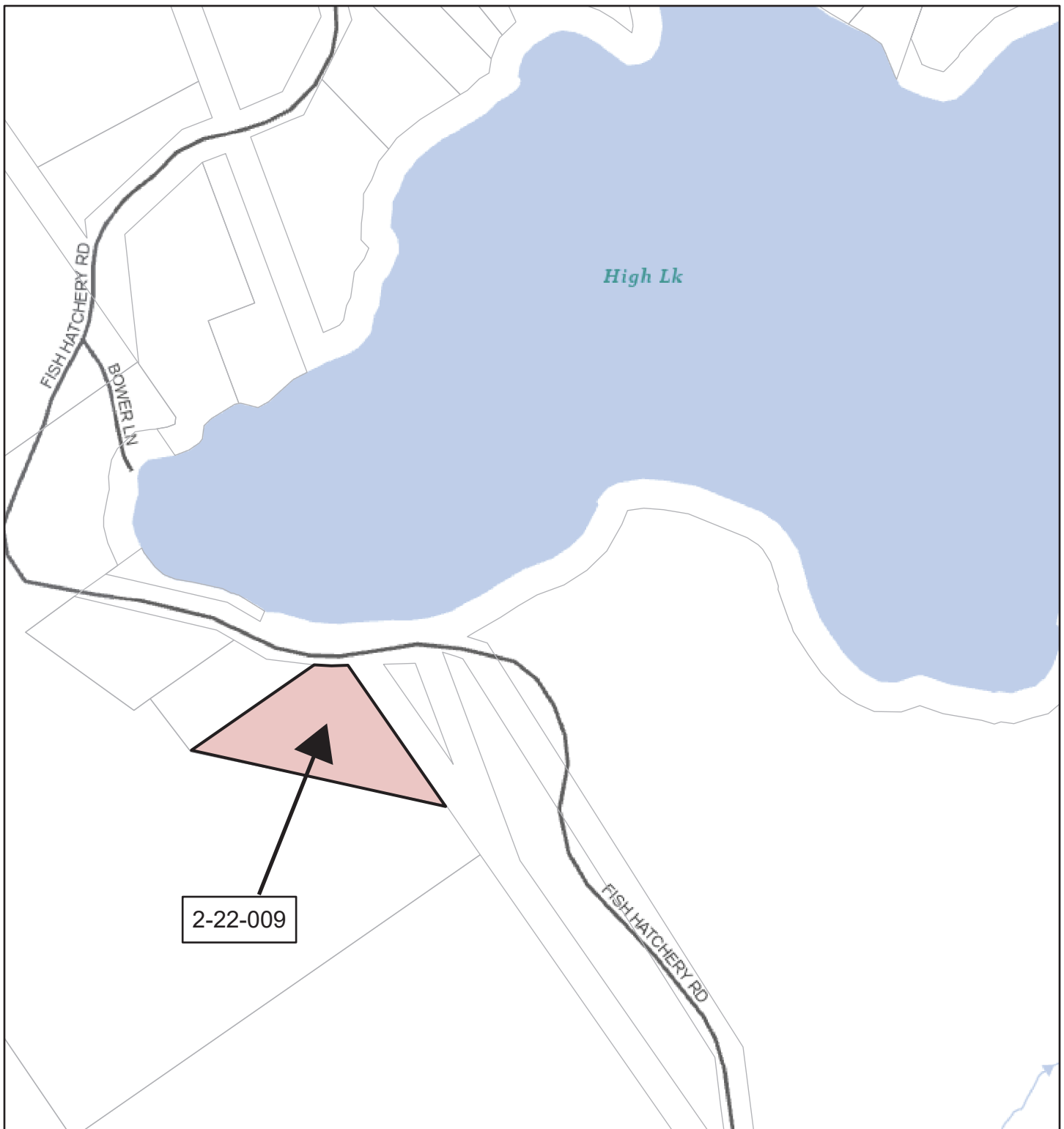
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 4th day of December, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



KEY MAP, A-77/25 (WILSHAW)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

-  Parcel: Assessment
-  District Municipality
-  Area Municipality
-  Geographic Township
-  Road Network
-  Township
-  Stream
-  Waterbody
-  Major Lake
-  Canada_Hillshade
-  World_Hillshade



Scale bar showing distances in miles (0, 0.03, 0.07, 0.13 mi) and kilometers (0, 0.05, 0.1, 0.2 km).

1:5,417

Sources: NRCan, Esri, Canada, and Canadian Community Maps contributors., Sources: Esri, Maxar, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap, and the GIS user community

SITE STATISTICS

1237 Fish Hatchery Road, Utterson ON, P0B 1M0

TOTAL LOT AREA : 100640 SQ.FT (2.3 acres)

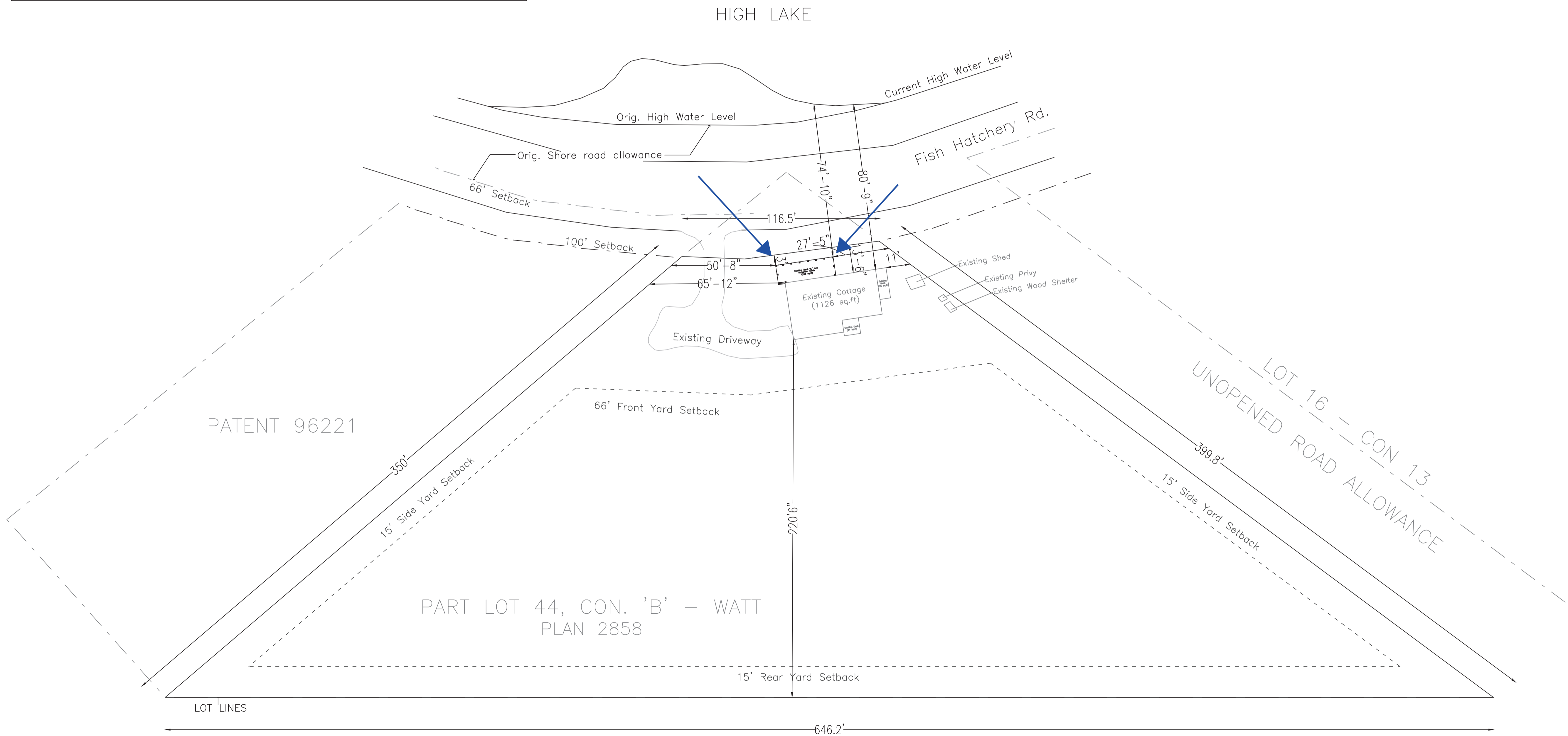
LOT AREA WITHIN 200’
OF HIGH WATER MARK : 19400 SQ.FT

TOTAL FRONTAGE : 116.5’ (+/-)

BUILDING AREA (WITHIN 200’):
COTTAGE : 1126 SQ.FT + DECKS (394 SQ.FT) = 1520 SQ.FT
SHED : 64 SQ.FT
PRIVY : 16 SQ.FT
WOOD SHELTER : 27 SQ.FT

TOTAL: 1627 SQ.FT

SITE PLAN



NOT TO SCALE



5 Elliott House Rd.
Seguin, ON P2A 0B2

emily@groundtopeak.ca
705-773-9120

BCIN:
Emily Vince #126800

Ground to
Peak Design #200310

Designer *Emily Vince*

Signature required for permit submission. Should these drawings be submitted without signature please contact the designer

All designs to remain property of Ground to Peak Design & can not be copied without consent
Do not scale drawings
Contractor must verify all dimensions on site prior to construction & report any discrepancies to the designer for revision and resubmission to the building department
All construction must comply with OBC and local by-laws

Project:
Wilshaw Site Plan

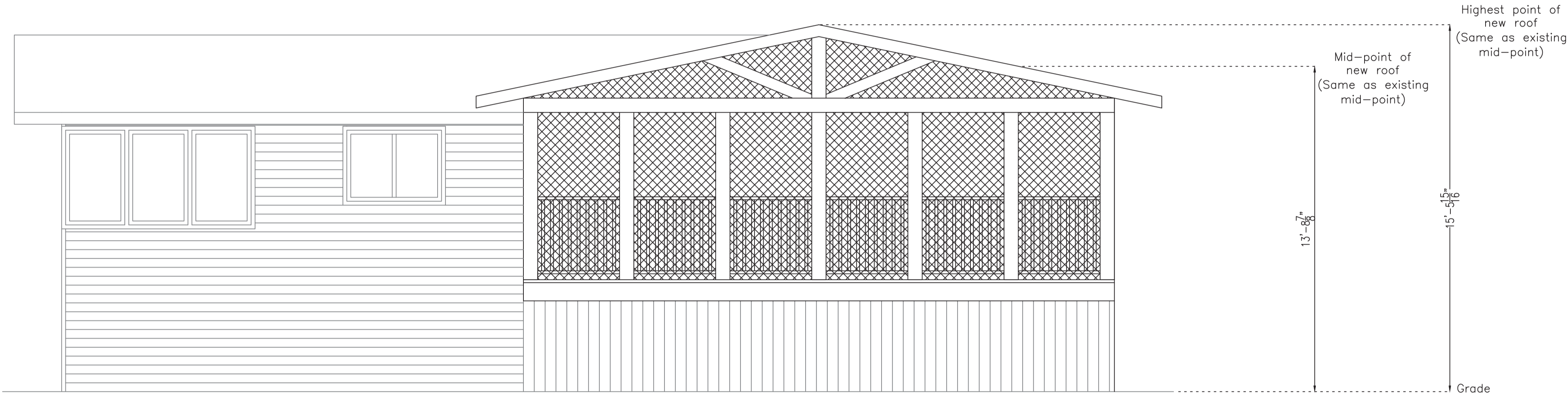
Drawn by: E. Vince

Date: Dec. 2nd, 2025

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LEGEND:	
NEW FRAMING	_____
EXISTING FRAMING	_____

ELEVATIONS



FRONT ELEVATION



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Project:
Wilshaw Screened
Porch Addition

Drawn by: E. Vince

Date: Sept. 9th, 2025

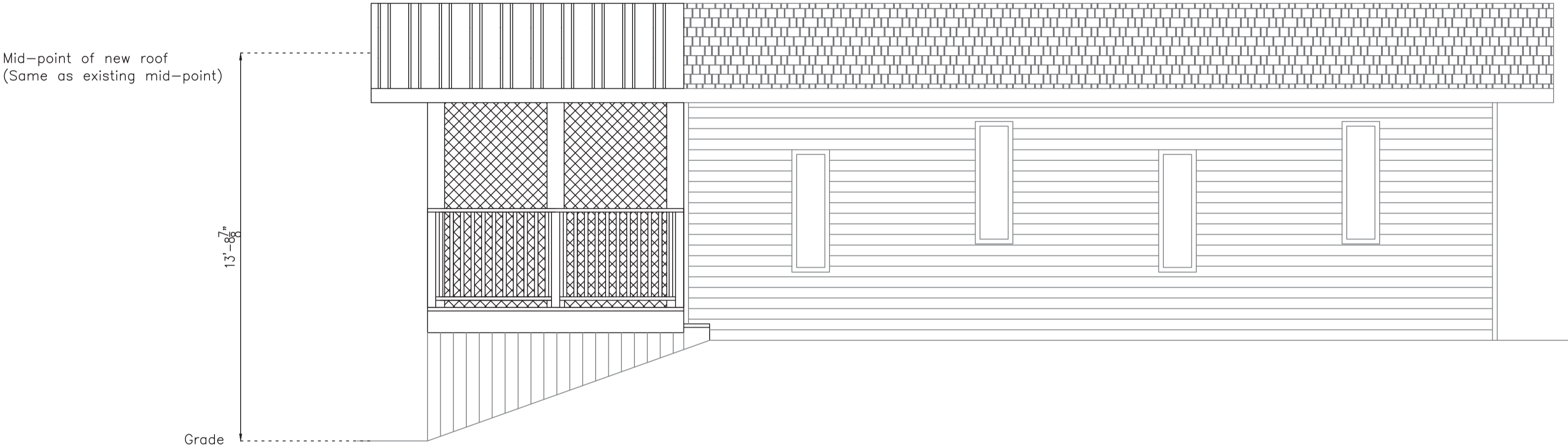
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FOR INFORMATIONAL PURPOSES ONLY

NOT TO SCALE

LEGEND:	
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EXISTING FRAMING	_____

ELEVATIONS



RIGHT ELEVATION

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NOT TO SCALE



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Project:
Sauvern Additions

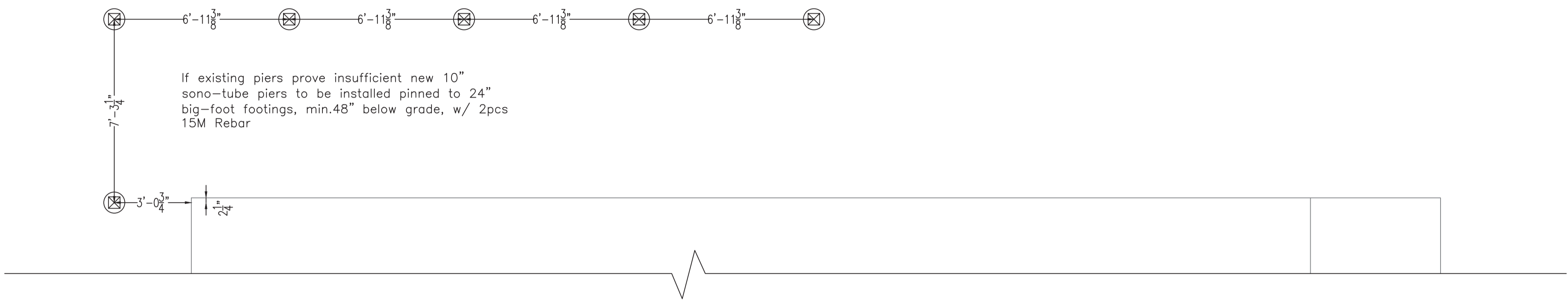
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Date: Sept. 9th, 2025

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LEGEND:	
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PIER LAYOUT & DECK FRAMING



PIER LAYOUT (IF NEW PIERS ARE DEEMED NECESSARY)



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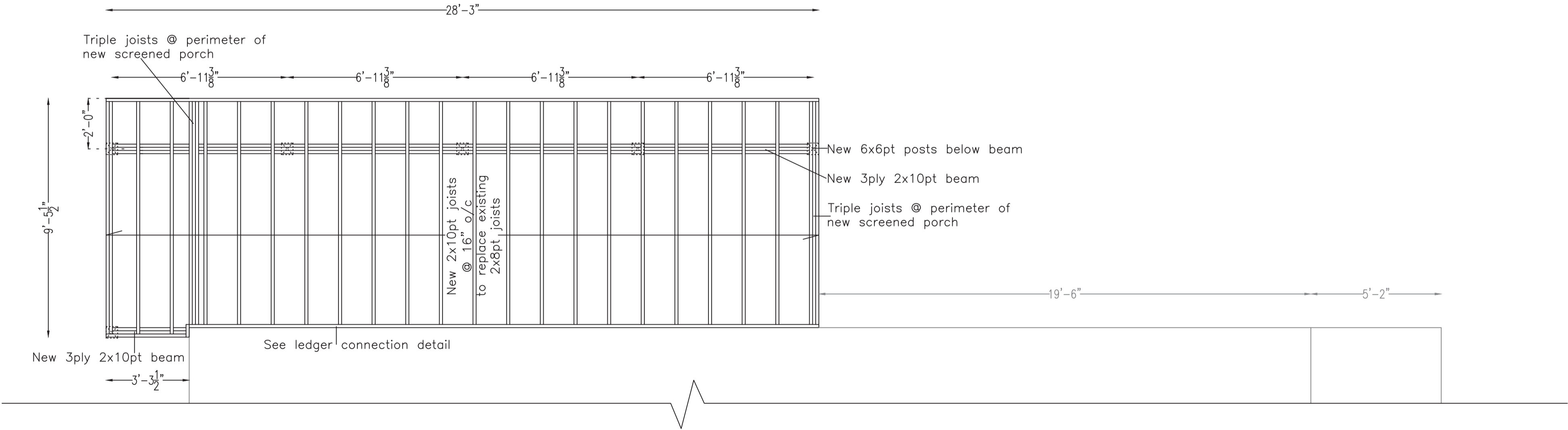
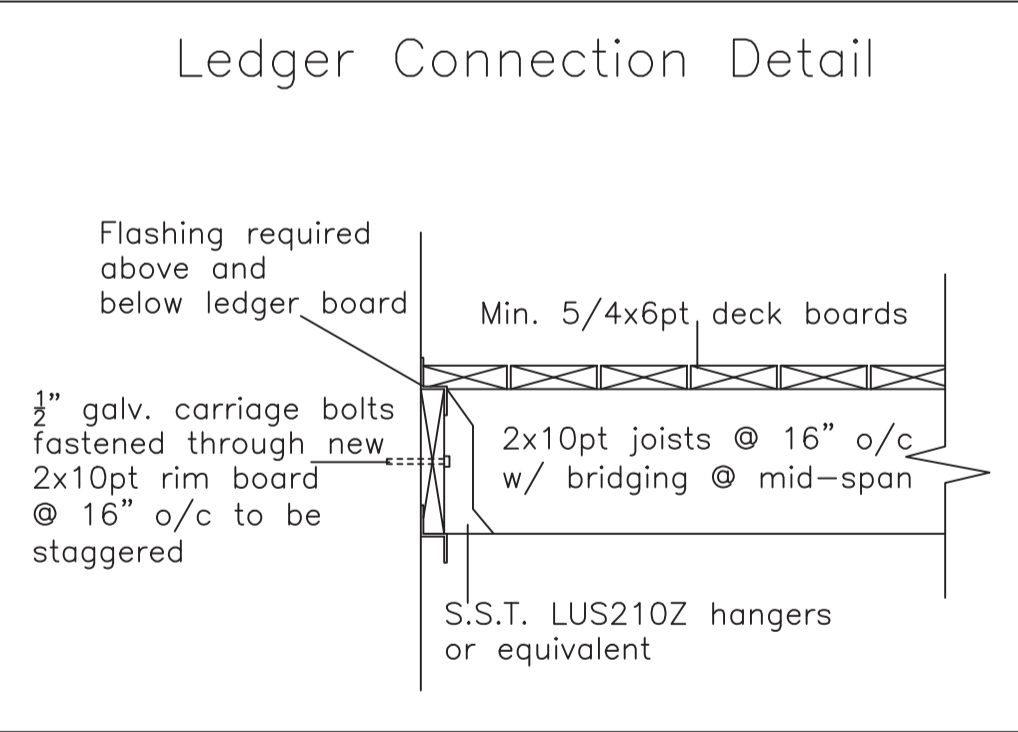
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Project:
Sauvern Additions

Drawn by: E. Vince

Date: Sept. 9th, 2025

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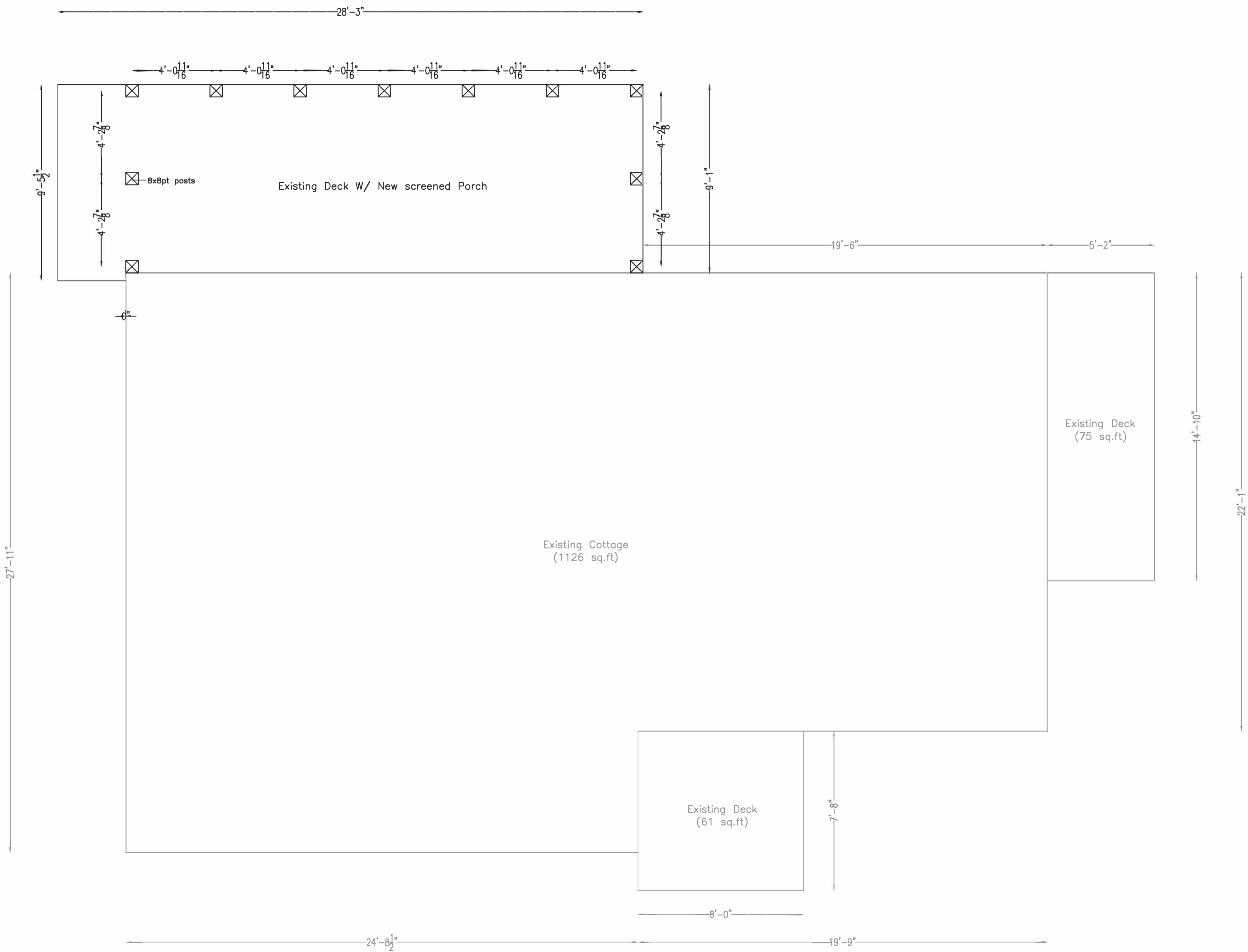
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DECK FRAMING

NOT TO SCALE

LEGEND:	
NEW FRAMING	_____
EXISTING FRAMING	_____

FLOOR PLANS



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FLOOR LAYOUT

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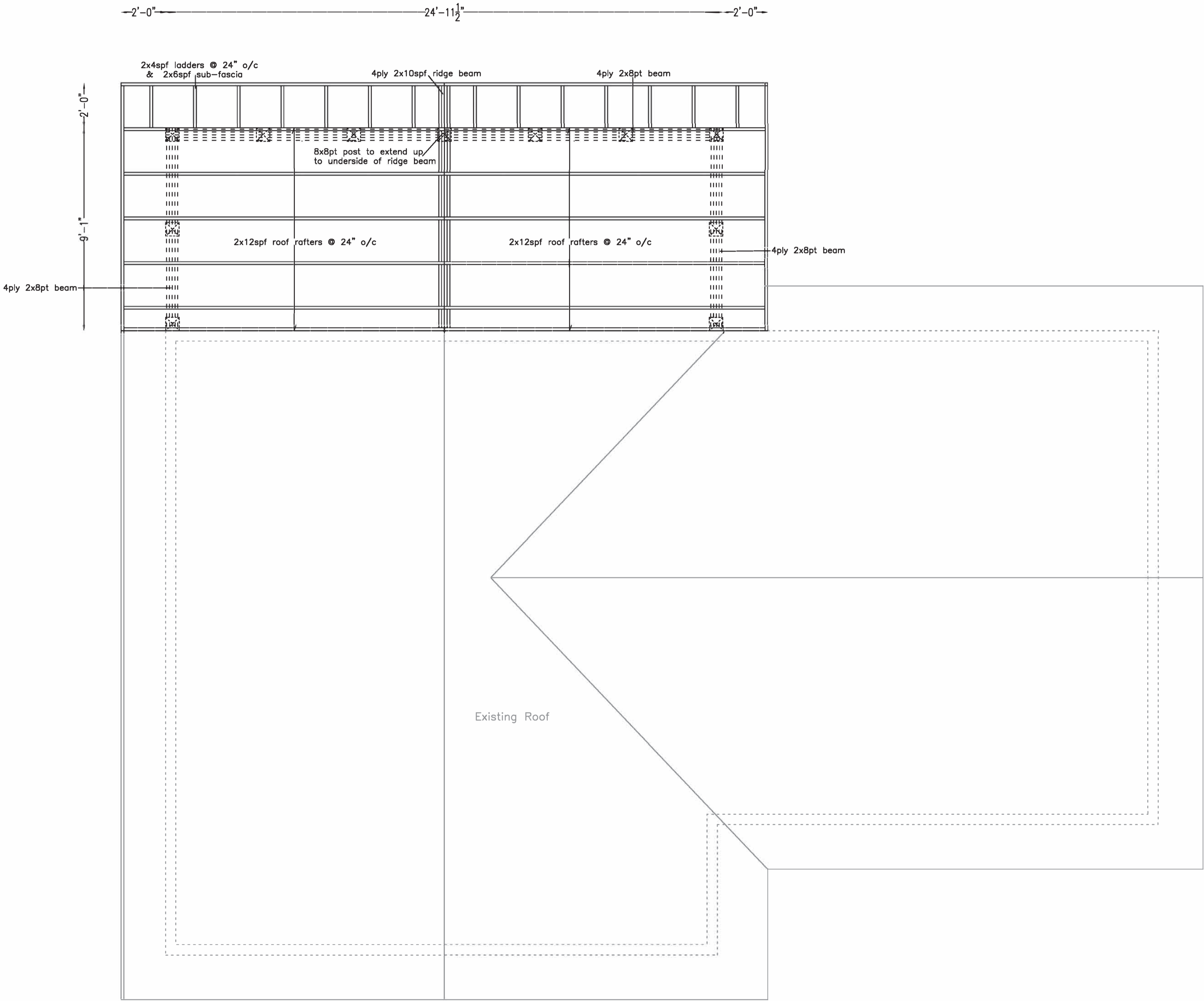
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EXISTING FRAMING	_____

ROOF PLAN



FOR INFORMATIONAL PURPOSES ONLY

ROOF PLAN

NOT TO SCALE



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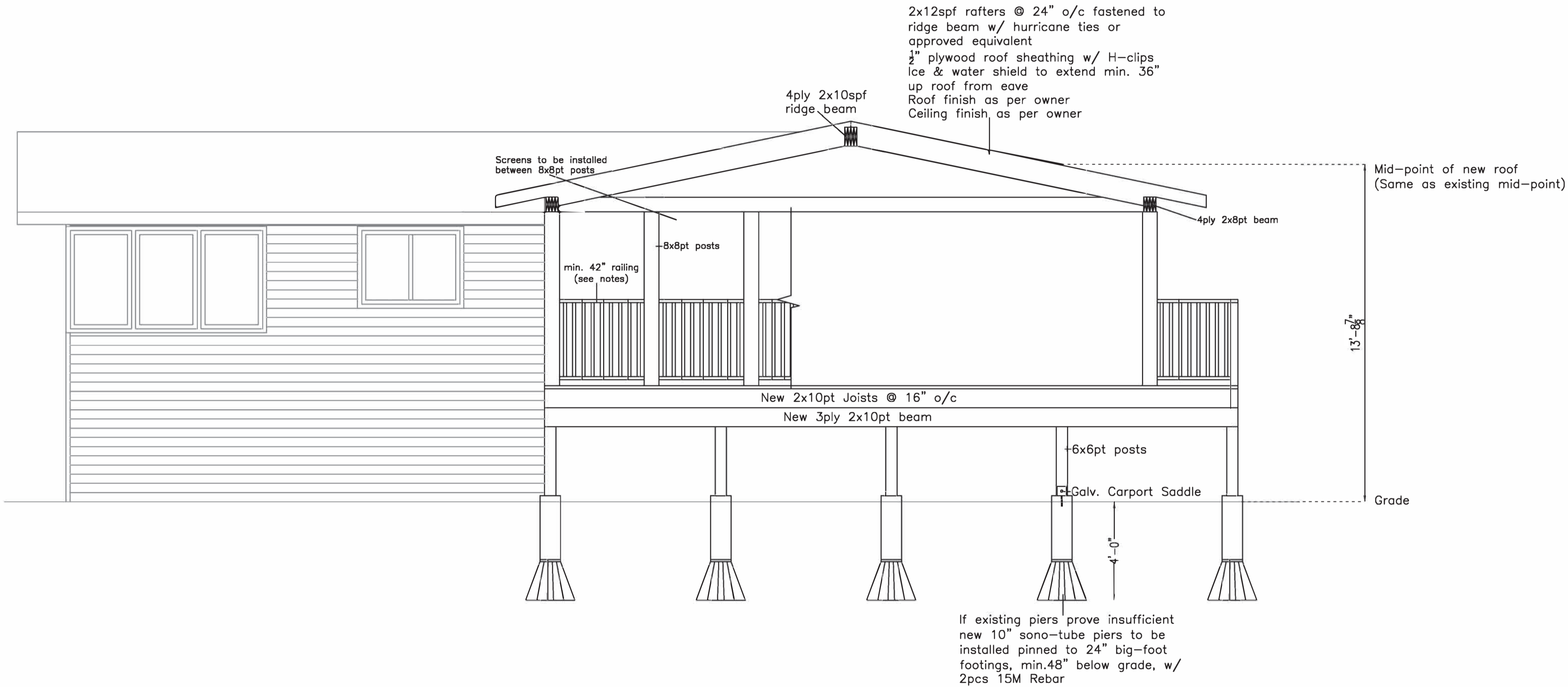
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FRONT ELEVATION



CROSS SECTION OF FRONT ELEVATION

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 Porch Addition

Drawn by: E. Vince

Date: Sept. 9th, 2025

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GENERAL PROJECT NOTES:

- THE DRAWINGS AND DETAILS ARE TO BE READ TOGETHER, NOT AS INDIVIDUAL PAGES.
- THE OWNER / BUILDER IS RESPONSIBLE FOR THE SITE PLAN AND LOCATION OF THE BUILDING INCLUDING CONFIRMING THE TYPE OF SOIL AND THE BEARING SOIL PRESSURE ALLOWED.

GENERAL CONSTRUCTION MATERIAL NOTES:

- ALL CONSTRUCTION MATERIALS MUST BE APPROVED FOR IT’S INTENDED USE IN IT’S BUILDING LOCATION
- LUMBER SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3.2

GENERAL FOUNDATION NOTES:

- IF EXISTING FOOTINGS ARE DEEMED INSUFFICIENT NEW 10” SONO–TUBE PIERS PINNED TO 24” BIG–FOOT FOOTINGS MIN. 48” BELOW GRADE, WITH 2PCS 15M REBAR

GENERAL RAILING NOTES:

- GUARDRAIL AND OR HANDRAIL HEIGHT SHALL COMPLY TO THE FOLLOWING:
INTERIOR
RAILING LANDING = 2’11”
RAIL STAIRS = 2’7”
EXTERIOR
RAIL LANDING & DECKS = 2’11” IF LESS THAN 5’11” ABOVE FIN GRADE
RAIL LANDING & DECKS = 3’6” IF MORE THAN 5’11” ABOVE FIN GRADE
- GUARDS AT LANDINGS, BALCONIES, FLOOR SEPARATION SERVING DWELLINGS SHALL BE MIN 3’6” HIGH (EXCEPT FOR SEPARATIONS OF LESS THAN 5’11” IN HEIGHT WHICH REQUIRE GUARDS 3’0” HIGH).

GENERAL FRAMING NOTES:

- ALL MEMBERS TO BE FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY O.B.C. 9.23.2.1
- ALL EXPOSED LUMBER TO BE PRESSURE TREATED MATERIAL OR SUITED FOR THE ELEMENTS

PROJECT DETAILS AND FINISHES

- NEW 2X10 PT DECK JOIST @ 16” O/C, TO REPLACE EXISTING 2X8PT JOISTS
- ROOF SYSTEM – 2X12 SPF RAFTERS @ 24” O/C, RIDGE BEAM 4PLY 2X10SPF RIDGE BEAM
- ROOF SHEATHING – ½” PLY W/ H–CLIPS
- ICE & WATER SHIELD, EAVE PROTECTION SHALL EXTEND MIN. 3’ UP ROOF SLOPE TO A LINE MIN. 12” INSIDE INTERIOR FACE OF EXTERIOR WALL
- ROOFING – AS PER OWNER, INSTALL PER MANUFACTURERS INSTRUCTIONS
- SOFFIT & FASCIA – TO MATCH EXISTING

ABBREVIATIONS:

THE FOLLOWING IS A LIST OF ABBREVIATIONS USED THROUGHOUT THESE PLANS:

W/ – WITH

© – AT

OBC – ONTARIO BUILDING CODE

MAX – MAXIMUM

U.N.O – UNLESS OTHERWISE NOTED

APPROX. – APPROXIMATE

GALV. – GALVANIZED

SST – SIMPSON STRONG–TIE

C/W – CLAD WITH

PT – PRESSURE TREATED

DIA. – DIAMETER

MIN – MINIMUM

O/C – ON CENTER

OH – OVER HANG

T&G – TONGUE AND GROOVE

T.B.D – TO BE DETERMINED

SPF – SPRUCE/PINE/FIR #1 OR BETTER

Item	Column 1 Construction Detail	Column 2 Minimum Length of Nails, mm	Column 3 Minimum Number or Maximum Spacing of Nails
1.	Floor joist to plate – toe nail	82	2
2.	Wood or metal strapping to underside of floor joists	57	2
3.	Cross bridging to joists	57	2 at each end
4.	Double header or trimmer joists	76	300 mm (o.c.)
5.	Floor joist to stud (balloon construction)	76	2
6.	Ledger strip to wood beam	82	2 per joist
7.	Joist to joist splice (See also Table 9.23.13.8.)	76	2 at each end
8.	Header joist end nailed to joists along perimeter	101	3
9.	Tail joist to adjacent header joist (end nailed) around openings	82 101	5 3
10.	Each header joist to adjacent trimmer joist (end nailed) around openings	82 101	5 3
11.	Stud to wall plate (each end) toe nail or end nail	62 82	4 2
12.	Doubled studs at openings, or studs at walls or wall intersections and corners	76	750 mm (o.c.)
13.	Doubled top wall plates	76	600 mm (o.c.)
14.	Bottom wall plate or sole plate to joists or blocking (exterior walls) ⁽¹⁾	82	400 mm (o.c.)
15.	Interior walls to framing or subflooring	82	600 mm (o.c.)
16.	Horizontal member over openings in non-loadbearing walls – each end	82	2
17.	Lintels to studs	82	2 at each end
18.	Ceiling joist to plate – toe nail each end	82	2
19.	Roof rafter, roof truss or roof joist to plate – toe nail	82	3
20.	Rafter plate to each ceiling joist	101	2
21.	Rafter to joist (with ridge supported)	76	3
22.	Rafter to joist (with ridge unsupported)	76	See Table 9.23.13.8.
23.	Gusset plate to each rafter at peak	57	4
24.	Rafter to ridge board – toe nail – end nail	82	3
25.	Collar tie to rafter – each end	76	3
26.	Collar tie lateral support to each collar tie	57	2
27.	Jack rafter to hip or valley rafter	82	2
28.	Roof strut to rafter	76	3
29.	Roof strut to loadbearing wall – toe nail	82	2
30.	38 mm × 140 mm or less plank decking to support	82	2
31.	Plank decking wider than 38 mm × 140 mm to support	82	3
32.	38 mm edge laid plank decking to support (toe nail)	76	1
33.	38 mm edge laid plank to each other	76	450 mm (o.c.)



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Porch Addition

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