

1 Bailey Street Port Carling, ON P0B 1J0

E: planning@muskokalakes.ca P: 705-765-3156 F: 705-765-6755

PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: ZBA-16/25 Roll No.: 7-7-034

By-law No.: To Be Assigned

Owners:	Ronald Stienstra		_
	610 Locust St.		
	Burlington, ON., L7S 1V8		
Address &	1533 Moon River Road		
Description:	Part of Lot 9, Concession C, Lots 9 & 9A, Plan M232 (Medora)		
Zoning:	Waterfront Residential – No	Moon River	Schedule: 41
_	Constraints (WR1-7)	(Category 2 Lake)	
	Meeting Date: Thursday	June 12th, 2025 at 9:00 a.	m.

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit https://www.muskokalakes.ca/planning-notices/ or scan the QR code.



Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to deem a waterfront lot parcel and backlot parcel as one for planning purposes, to convert an existing dwelling into a sleeping cabin, to construct a new dwelling, and to construct a two-storey garage with upper storey storage.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
Α	3.34	Maximum Habitable Floor Area for a Dwelling	7,500 sq. ft.	2,750 sq. ft.	4,750 sq. ft.	Restrict the Habitable Floor Area of the Proposed Dwelling

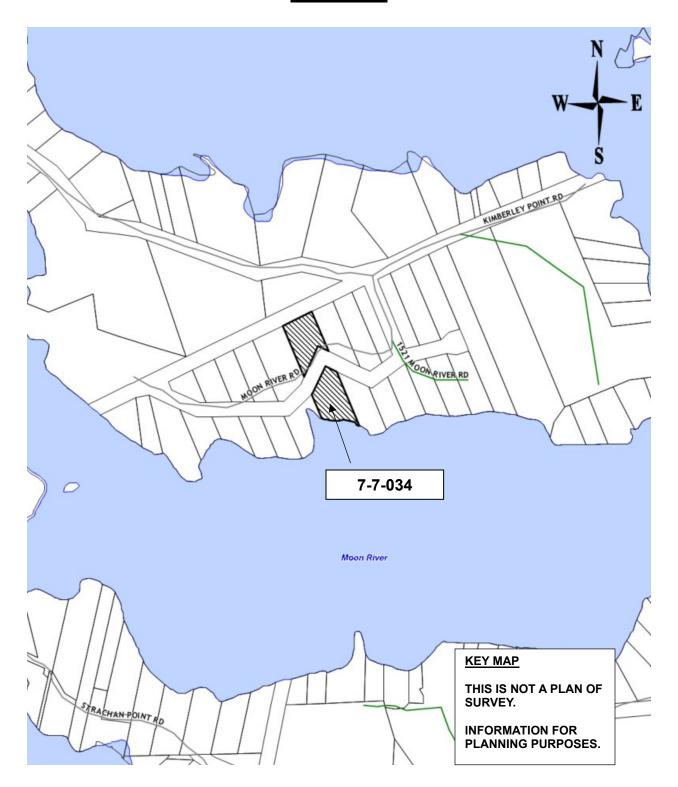


В	4.1.3	Development Envelope Relative to Floodline Elevation	-	Development of a Dwelling be Located Above 221.68 Metres Above Sea Level (MASL)	-	Restrict Development of the Proposed Dwelling to be Located Above 221.68 MASL
С	4.1.3	Minimum Front Yard Setback	66 ft.	108 ft.	•	Construct a Dwelling at a Setback of 108 feet from the High Water Mark of the Moon River
D	4.1.6 ii.	Maximum Sleeping Cabin Floor Area	650 sq. ft.	760 sq. ft.	110 sq. ft.	Convert the Use of an Existing Dwelling to an Oversized Sleeping Cabin with an Attached Covered Porch and Sundecks
E	11.88	Definition of a Lot	-	Deem the Waterfront and Backlot Parcels as One for Planning Purposes	-	Construct a Two-Storey Garage on the Backlot Parcel

A key map of the subject property, the applicant's site plan, zoning sketch, any drawings, and a draft By-law are included in this notice.



KEY MAP





For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: June 5th, 2025.

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled meeting.

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not



Notice of Public Meeting ZBA-16/25, Stienstra

entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 15th day of May, 2025.

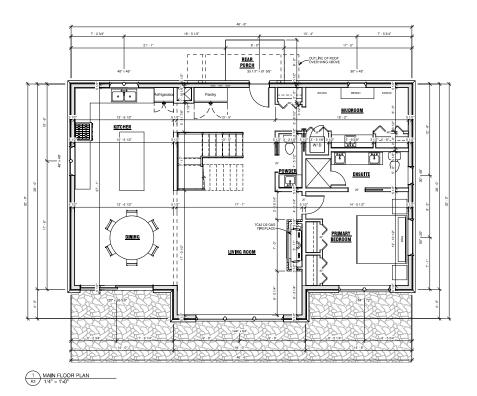
Crystal Paroschy, Clerk Corporation of the Township of Muskoka Lakes



ZONING SKETCH - EXISTING DEVELOPMENT EXISTING DEVELOPMENT LOT 9, CONCESSION C GEOGRAPHIC TOWNSHIP OF MEDORA TOWNSHIP OF MUSKOKA LAKES ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS C & D DISTRICT MUNICIPALITY OF MUSKOKA 1" = 40' SCALE 40 30 20 10 0 40 feet 120 DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048. JANIA GORSKI & RON STIENSTRA PROPERTY 1533 MOON RIVER RD. LOTS 9 & 9A OF PLAN M-232 WR1-7ZONE: **AREA ANALYSIS** TOTAL SITE AREA (FRONT LOT): 34640 S.F. 0.8 Ac. LOT AREA WITHIN 200' OF SHORE 31500 S.F. 0.72314 Ac. EXISTING COTTAGE COVERAGE AREA: 1045 S.F. BUNKIE AREA: 760 S.F. COVERED PORCH AREA: 220 S.F. MECH AREA: **EXISTING PUMP HOUSE AREA:** 50 S.F. EXISTING BUNKIE COVERAGE AREA: 160 S.F. TOTAL LOT COVERAGE 1255 S.F. PERCENT COVERAGE WITHIN 200' OF SHORE: 4.0% TRAIL POAD KNOW AS 1 Omiship DRIVEWAY -200' SHORELINE SETBACK ±60.9 ±20 **EXISTING** BUNKIE COVERED PORCH MECH. ROOM _{[51.9}] 220 S.F. ±29., EXISTING COTTAGE HABITABLE ±85.9 AREA: 760 S.F 66' BUILDING SETBACK-±45.3 15. JFLOODLINE (YELLOW) 50' DECK SETBACK PARKING AREA PUMP HOUSE LINE OF FLOODWAY (RED) ±53. ₹69 169.6' LOT FRONTAGE ±33.3' **EXISTING** CONCRETE WALKWAY DOCK ±20.5' MOON **EXISTING** NOT TO SCALE ±19.4

ZONING SKETCH - PROPOSED DEVELOPMENT PROPOSED DEVELOPMENT LOT 9, CONCESSION C GEOGRAPHIC TOWNSHIP OF MEDORA TOWNSHIP OF MUSKOKA LAKES ORIGINAL ROAD ALLOWANCE BETWEEN CONCESSIONS C & D DISTRICT MUNICIPALITY OF MUSKOKA 1" = 40'SCALE 40 30 20 10 0 40 feet 120 DISTANCES SHOWN ON THIS PLAN ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048. JANIA GORSKI & RON STIENSTRA PROPERTY 1533 MOON RIVER RD. LOTS 9 & 9A OF PLAN M-232 PROPOSED GARAGE WR1-7ZONE: w/ STORAGE LOFT **AREA ANALYSIS** TOTAL SITE AREA (FRONT LOT): 34640 S.F. 0.8 Ac. ±96.4 LOT AREA WITHIN 200' OF SHORE 31500 S.F. 0.72314 Ac. EXISTING BUNKIE (OLD COTTAGE) AREA: œ. BUNKIE AREA: 760 S.F. COVERED PORCH AREA: 220 S.F. MECH AREA: 65 S.F. EXISTING PUMP HOUSE AREA: 50 S.F. PROPOSED COTTAGE AREA: 1374 S.F. TOTAL LOT COVERAGE 2469 S.F. PERCENT COVERAGE WITHIN 200' OF SHORE: 7.8% TOTAL SITE AREA (BACK LOT): 26214 S.F. 0.6 Ac. POAD KNOW AS 1 PROPOSED GARAGE COVERAGE AREA: 1000 S.F. TOTAL LOT COVERAGE 1000 S.F. PERCENT COVERAGE: 3.8% OMNSHIP 200' SHORELINE SETBACK \ઇ. NEW PARKING AREA MAIN FLOOR ELEVATION: 729.5ft **PROPOSED** COTTAGE ×185. _{.59}.5 CONVERTED TO BUNKIE MAIN FLOOR ELEVATION: 729.5ft ±85.9 66' BUILDING SETBACK-JFLOODLINE (YELLOW) 50' DECK SETBACK LINE OF FLOODWAY (RED) ±53 169.6' LOT/FRONTAGE ±33.3' **EXISTING** CONCRETE WALKWAY DOCK ±20.5' MOON **EXISTING NOT TO SCALE** RIVER 719ft ±19.4

FLOOR PLANS (MAIN FLOOR) - PROPOSED DWELLING



NOT TO SCALE

FOR INFORMATIONAL PURPOSES



705-765-1478 156 MEDORA STREET, UNIT 4

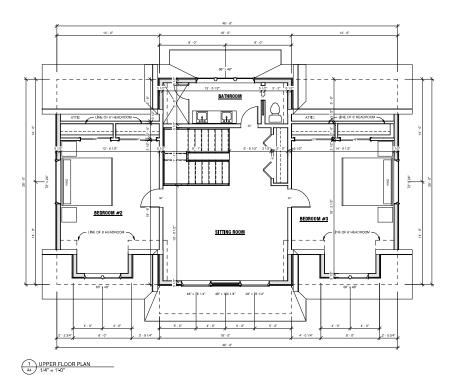


Family 1533 Moon River Road MAIN FLOOR PLAN

A3

2024-12-10 2:02:08 PM

FLOOR PLANS (SECOND STOREY) - PROPOSED DWELLING



NOT TO SCALE

FOR INFORMATIONAL PURPOSES

NOT FOR CONSTRUCTION



PORT CARLING DESIGN DFFICE 705-765-1478 156 MEDORA STREET, UNIT 4

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1533 Moon River Road

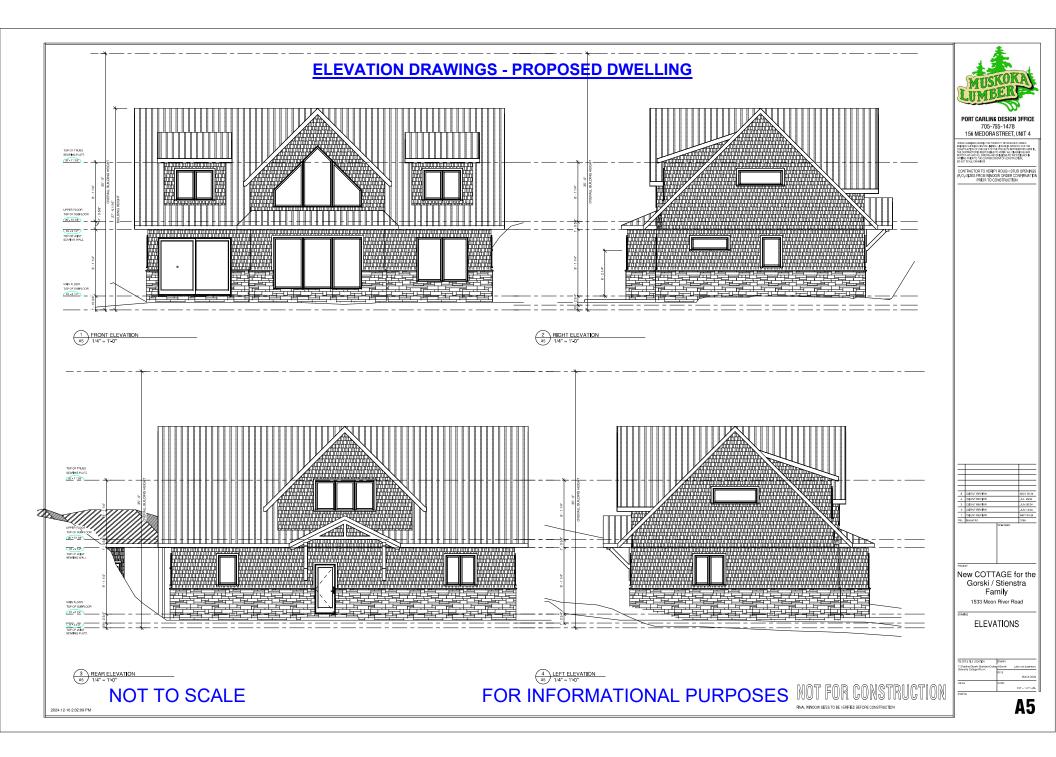
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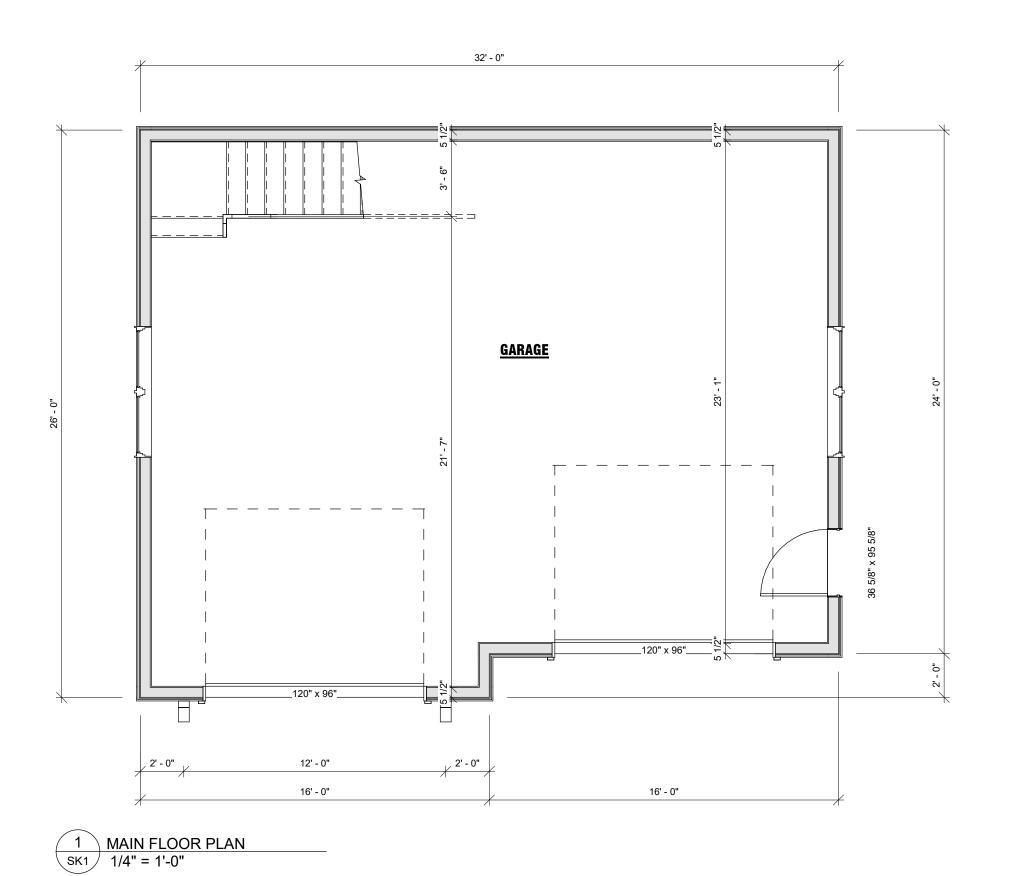
UPPER FLOOR PLAN

Family

A4

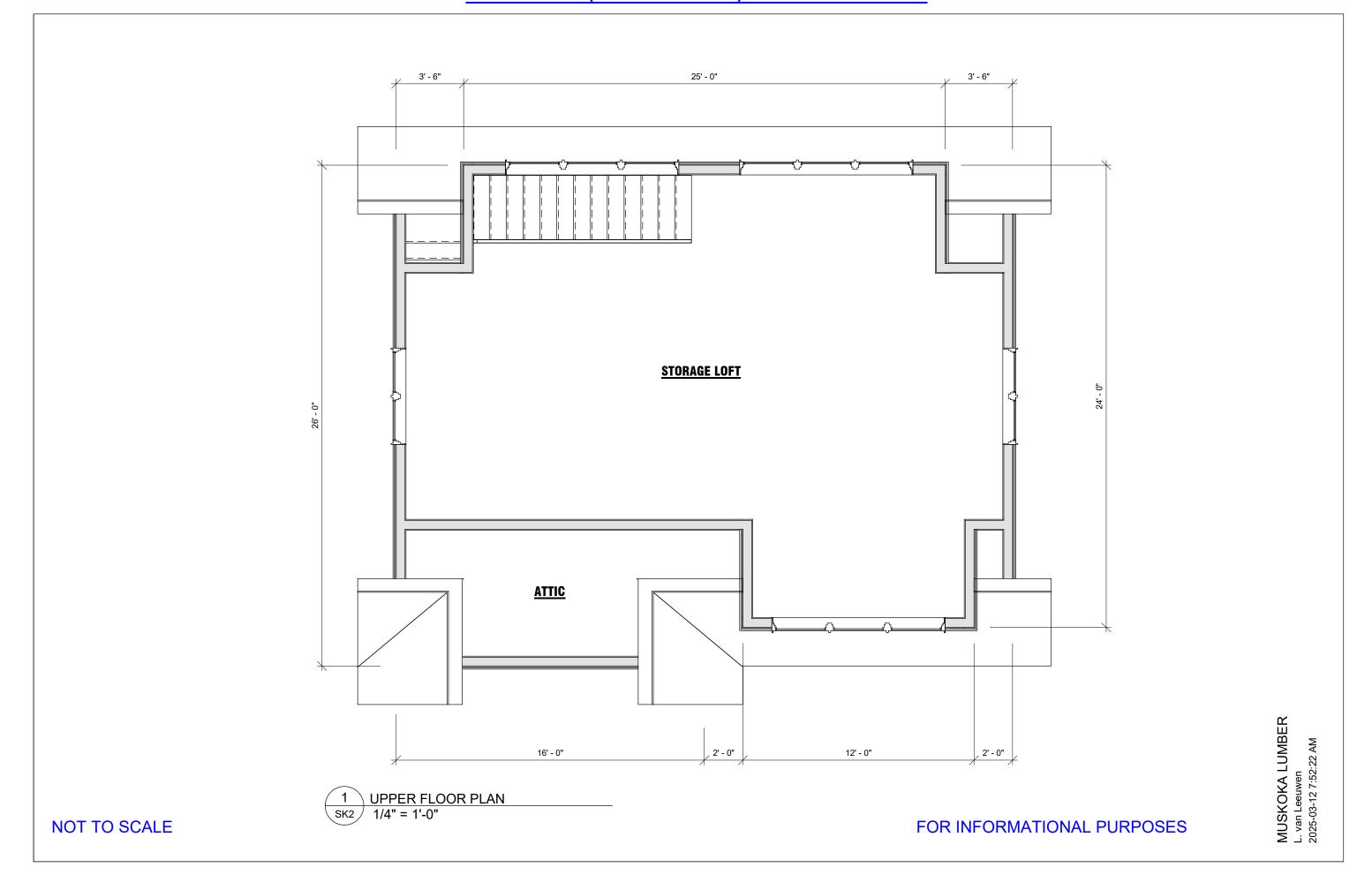
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MUSKOKA LUMBER L. van Leeuwen 2025-03-12 7:52:21 AM

FLOOR PLANS (SECOND STOREY) - PROPOSED GARAGE





1 FRONT ELEVATION
SK3 1/4" = 1'-0"

NOT TO SCALE

FOR INFORMATIONAL PURPOSES

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2025-XXX

Being a By-law to amend Comprehensive Zoning By-law 2014-14, as amended, in the Township of Muskoka Lakes

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

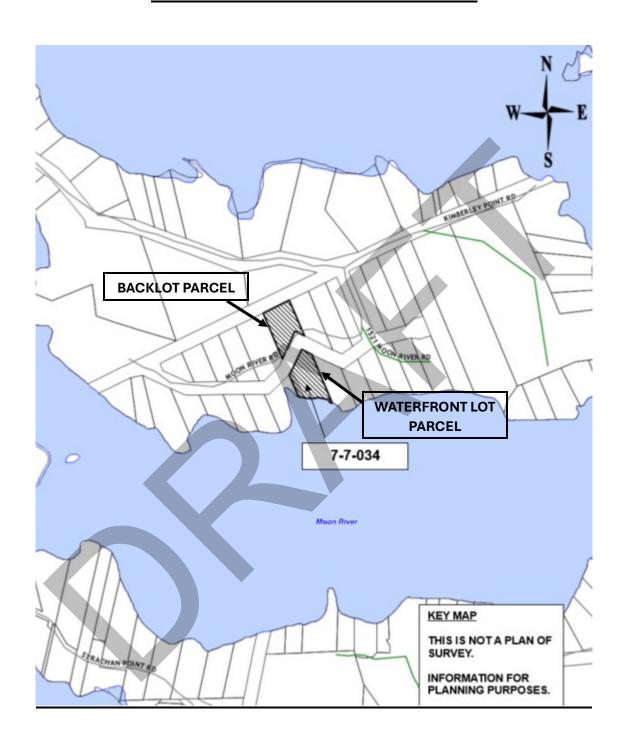
87-XXXX

- i) The lands affected by this amendment are described as Part of Lot 9, Concession C, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Lots 9 & 9A, Plan M232, as shown hatched on Schedule I to By-law 2025-XXX.
- ii) Despite the provisions of Section 3.34 of Zoning Bylaw 2014-14, as amended, for those lands described above, the maximum permitted habitable floor area for a dwelling shall be 2,750 square feet, as shown in the location and extent on Schedule II to By-law 2025-XXX.
- iii) Despite the provisions of Section 4.1.3 of By-law 2014-14, as amended, for those lands described above, a dwelling shall not be located within the 221.68 metres above sea level (masl) floodway elevation, as shown in the location and extent on Schedule II to By-law 2025-XXX.
- iv) Despite the provisions of Section 4.1.3 of By-law 2014-14, as amended, for those lands described above, the minimum front yard setback for a dwelling shall be 108 feet, as shown in the location and extent on Schedule II to By-law 2025-XXX.
- v) Despite the provisions of Section 4.1.6 ii. of Zoning By-law 2014-14, as amended, for those lands described above, the maximum permitted floor area for a sleeping cabin shall be 760 square feet, as shown in the location and extent on Schedule II to By-law 2025-XXX.
- vi) Despite the provisions of Section 11.88 of Zoning Bylaw 2014-14, as amended, for those lands described above, the waterfront and backlot parcels as shown hatched and labelled on Schedule I to By-law 2025-XXX shall be deemed as one lot for planning purposes.

- 2. Schedules I and II attached hereto are hereby made part of this By-law.
- 3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

ead a <mark>first, second</mark> and <mark>third t</mark>	ime and finally passed this _	day of _
, 2025.		
ter Kelley, Mayor	_	
3 ,		
ystal Paroschy, Clerk	-	

SCHEDULE I TO DRAFT BY-LAW 2025-XXX



SCHEDULE II TO DRAFT BY-LAW 2025-XXX

