

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-43/25

Roll No.: 2-15-080

Owners:	Crystal Latanville, Andrew, Oronzo, and Maria Pavone, 1346 Russ Hammell Road, Utterson, ON, P0B 1M0		
Address & Description:	1346 Russ Hammell Road Part of Lot 11, Concession 9, Parts 1 and 2, Plan 35R-3502, (Watt)		
Zoning:	Rural - Rural Residential (RUR)	Lake: Not Applicable	Schedule: 17
Hearing Date: Tuesday, October 14th, 2025 at 9:00 a.m.			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



Explanation of the Purpose and Effect:

The applicants propose to construct a two-storey secondary dwelling unit. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	6.1.3	Maximum Lot Coverage	5% (4356 sq. ft.)	6.5% (5665 sq. ft.)	1309 sq. ft.	Construct a Two-Storey Secondary Dwelling Unit
B	6.1.3	Maximum Height for an Accessory Building	20 ft.	21.5 ft.	1.5 ft.	
C	6.1.5 f. iii.	Maximum Gross Floor Area	1195 sq. ft.	1843 sq. ft.	648 sq. ft.	

A key map of the subject property and the applicants' site plan and any drawings are included in this notice. For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**



How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **October 8, 2025.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

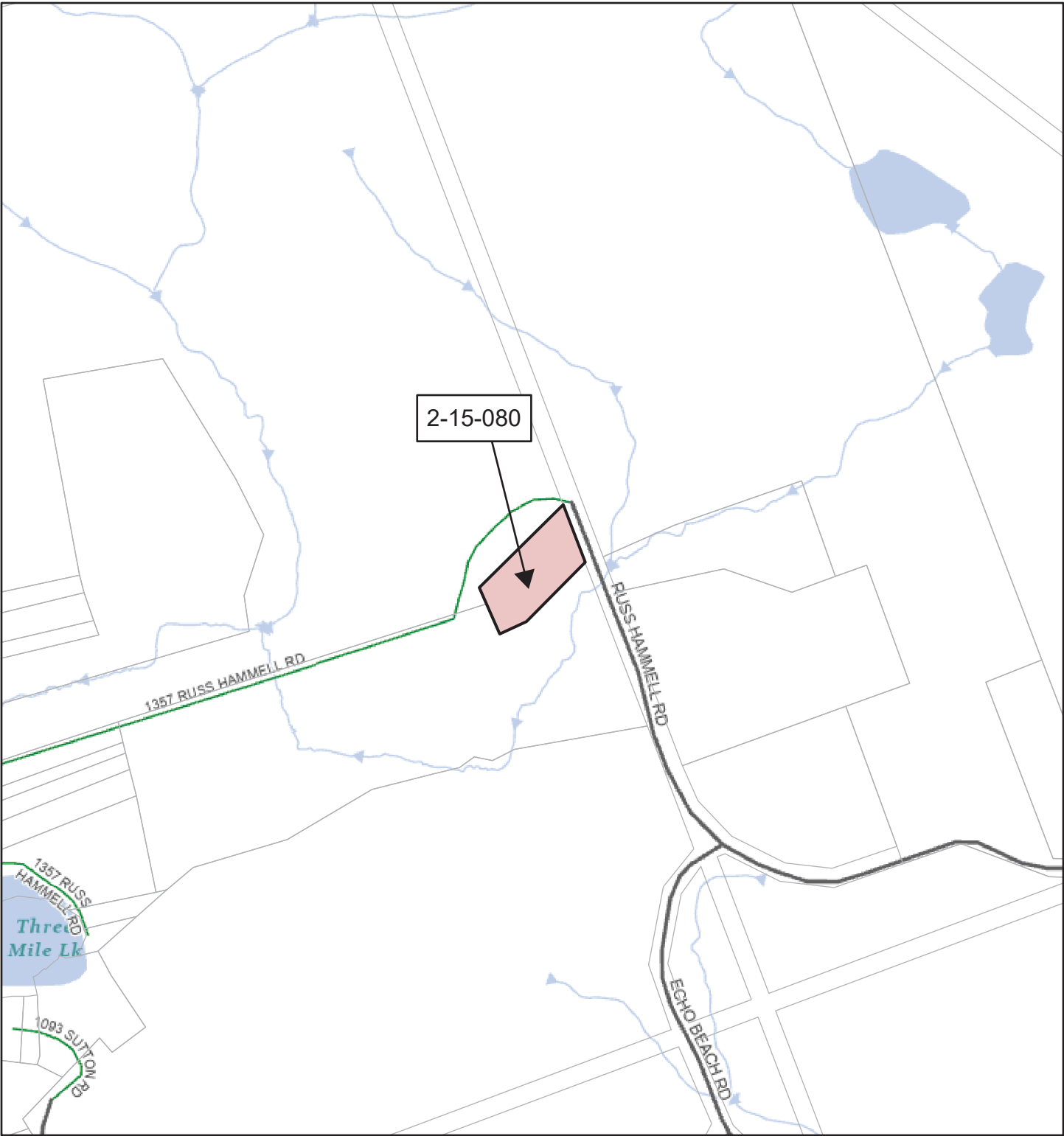
PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 16th day of September, 2025.


Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca





KEY MAP, A-43/25 (LATANVILLE & PAVONE)





NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.


- 


Parcel: Assessment
- 


District Municipality
- 


Area Municipality
- 


Geographic Township
- 


Road Network
- 


Township
- 

Private
- 

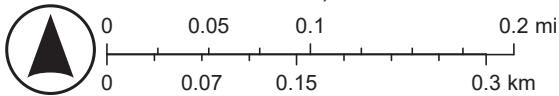
Stream
- 

Waterbody
- 

Major Lake
- 

Canada_Hillshade
- 

World_Hillshade



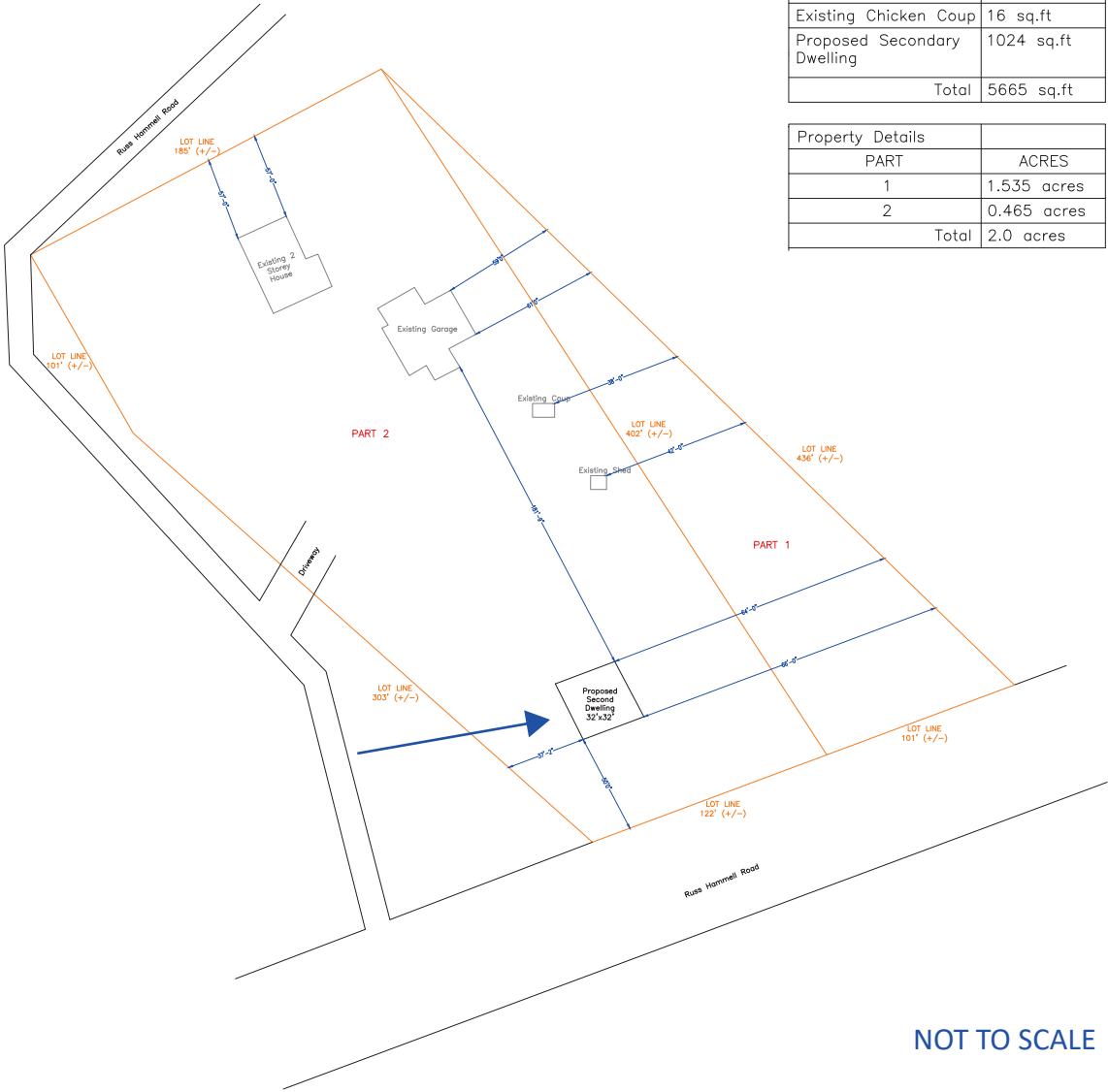
Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

Site Plan:
1346 Russ Hammell Rd. Utterson ON, P2A 1M0

SITE PLAN


Property Details	
Structure	SQ.FT
Existing House	1534.5 sq.ft
Existing Garage	2957.5 sq.ft
Existing Shed	133 sq.ft
Existing Chicken Coup	16 sq.ft
Proposed Secondary Dwelling	1024 sq.ft
Total	5665 sq.ft

Property Details	
PART	ACRES
1	1.535 acres
2	0.465 acres
Total	2.0 acres

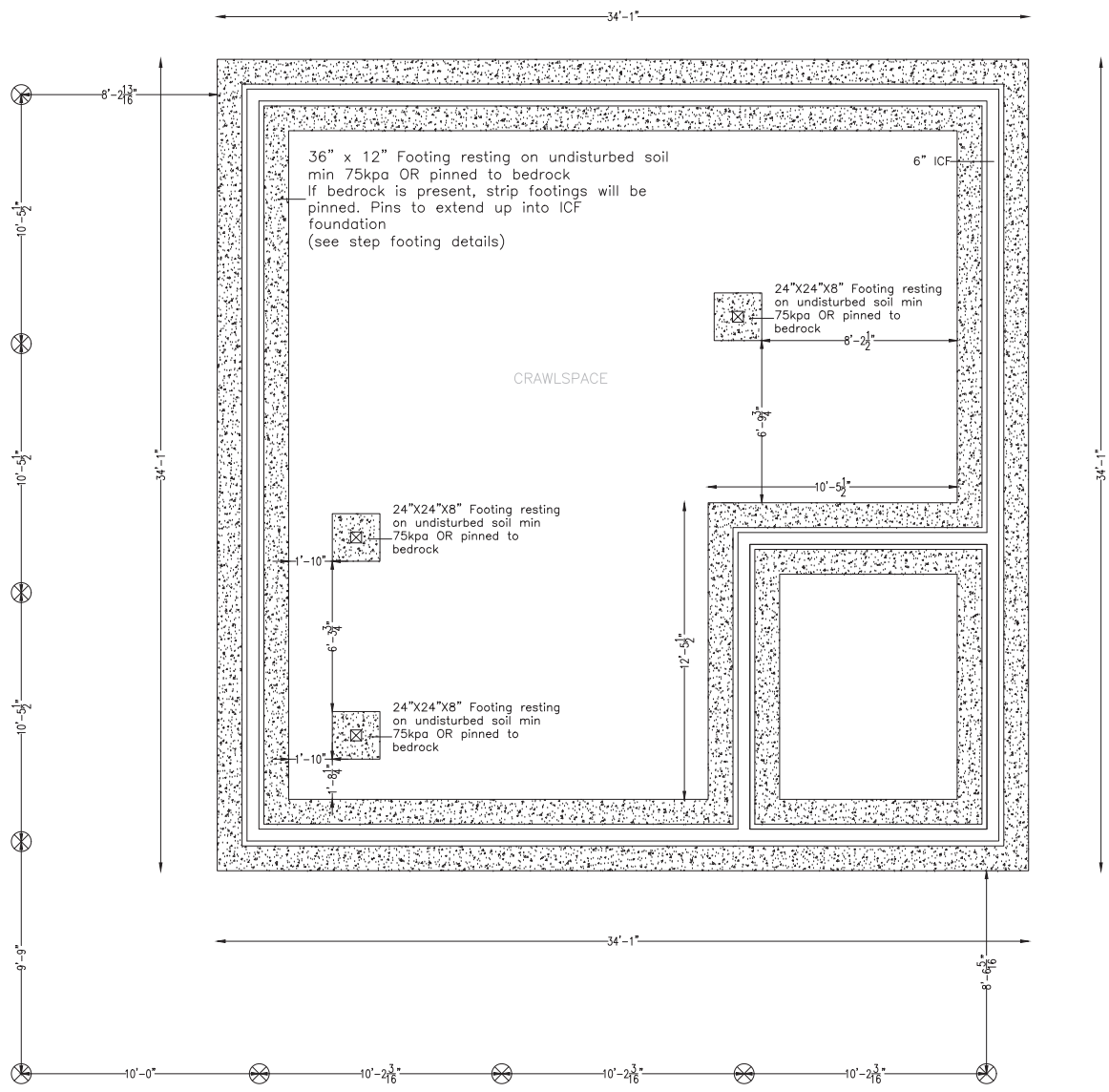


NOT TO SCALE

FOUNDATION PLAN

LEGEND	
	10" Sono tube on 24" Big Foot with 6x6 pt post anchored to pier with galv. carport saddle

- If step footings are required refer to this note:
- Exact step-footing dimensions to be confirmed on site
1. Step footings, and foundations as required to suit grade conditions, as determined on site by contractor or homeowner.
 2. The min. vertical rise of stepped footings in firm soil conditions to be 23-5/8" and 16" for sand & gravel.
 3. The min. horizontal distance between stepped footings to be 23-5/8"
 4. Check and maintain proper frost depth when creating stepped footings



20 S Parry Rd. Seguin,
ON P2A 2W8
emily@groundtopeak.ca
emily@southparrylumber.ca
705-746-8491

BCIN:
Emily Vince #126800

Ground to
Peak Design #200310

Designer *Emily Vince*
Signature required for permit submission. Should these drawings be submitted without signature please contact the designer

All designs to remain property of Ground to Peak Design & can not be copied without consent
Do not scale drawings
Contractor must verify all dimensions on site prior to construction & report any discrepancies to the designer for revision and resubmission to the building department
All construction must comply with OBC and local by-laws

Project:
Crystal Latanville
Second Dwelling

Drawn by: E. Vince

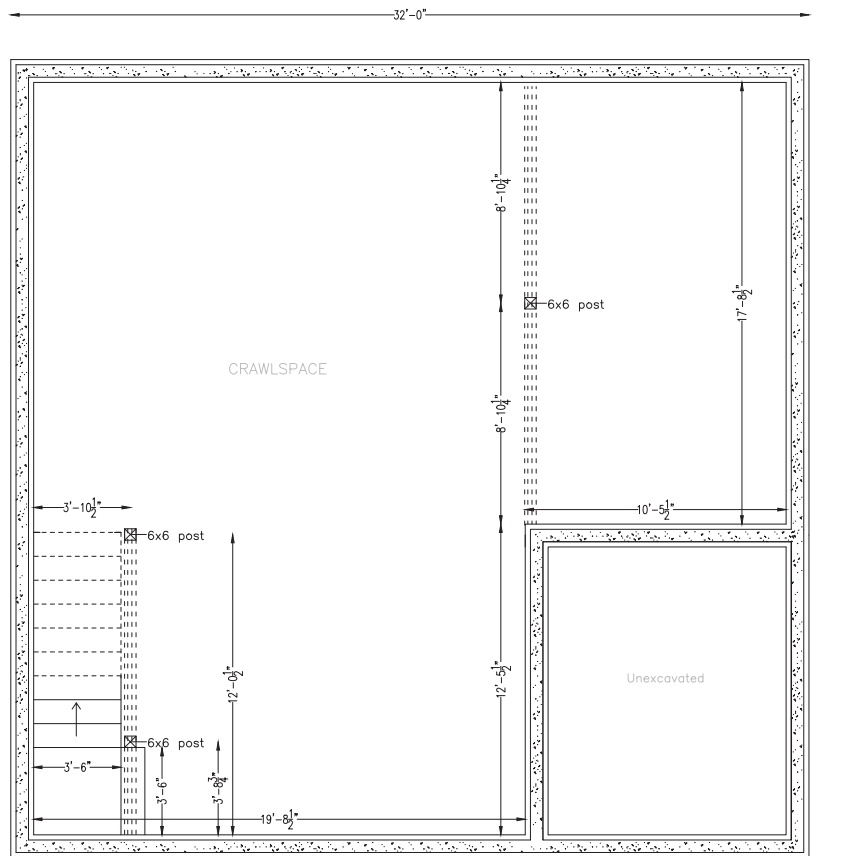
Date: April 23rd, 2025

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FOUNDATION PLAN

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CRAWLSPACE LAYOUT

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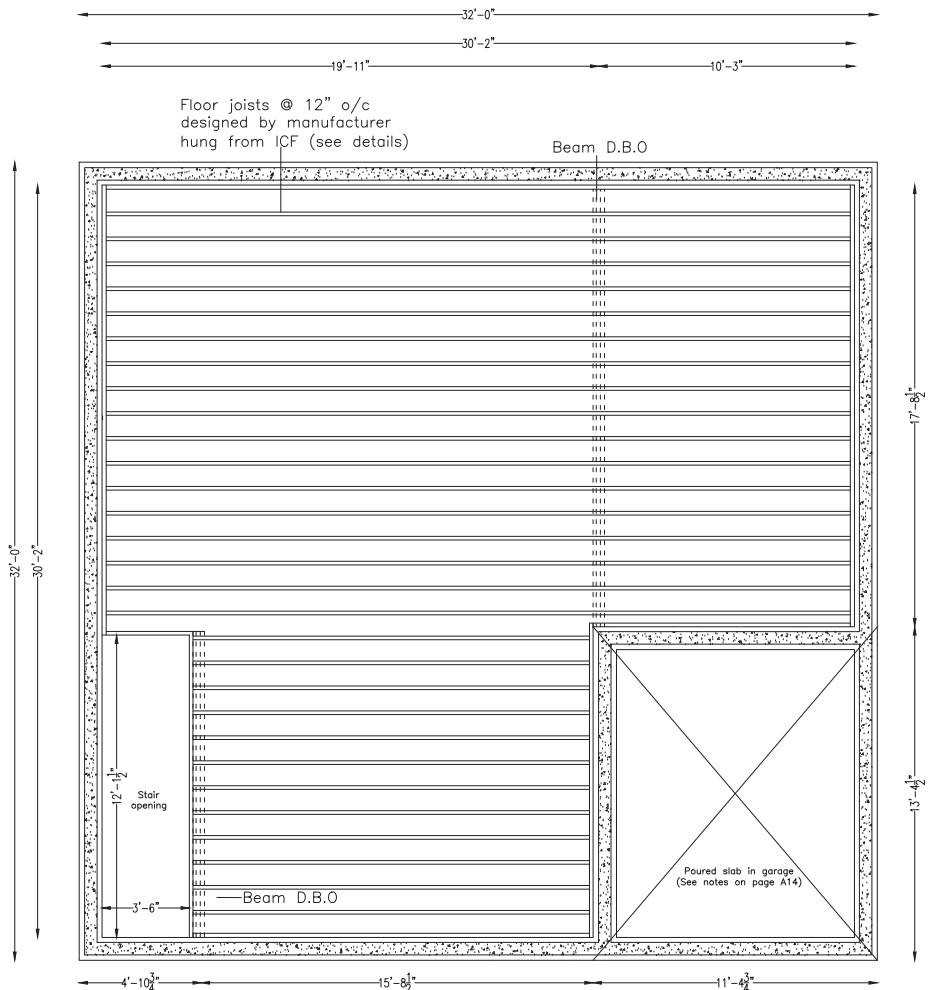
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FIRST FLOOR FRAMING

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Crystal Latanville
Second Dwelling

Drawn by: E. Vince

Date: April 23rd, 2025

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FLOOR PLANS

LEGEND (See details)	
	Smoke Alarm
	Carbon Monoxide Alarm
	Interior 2x6 bearing wall

(4) Where a storage garage is attached to or built into a building of residential occupancy,

(a) an air barrier system conforming to Subsection 9.25.3. shall be installed between the garage and the remainder of the building to provide an effective barrier to gas and exhaust fumes, and

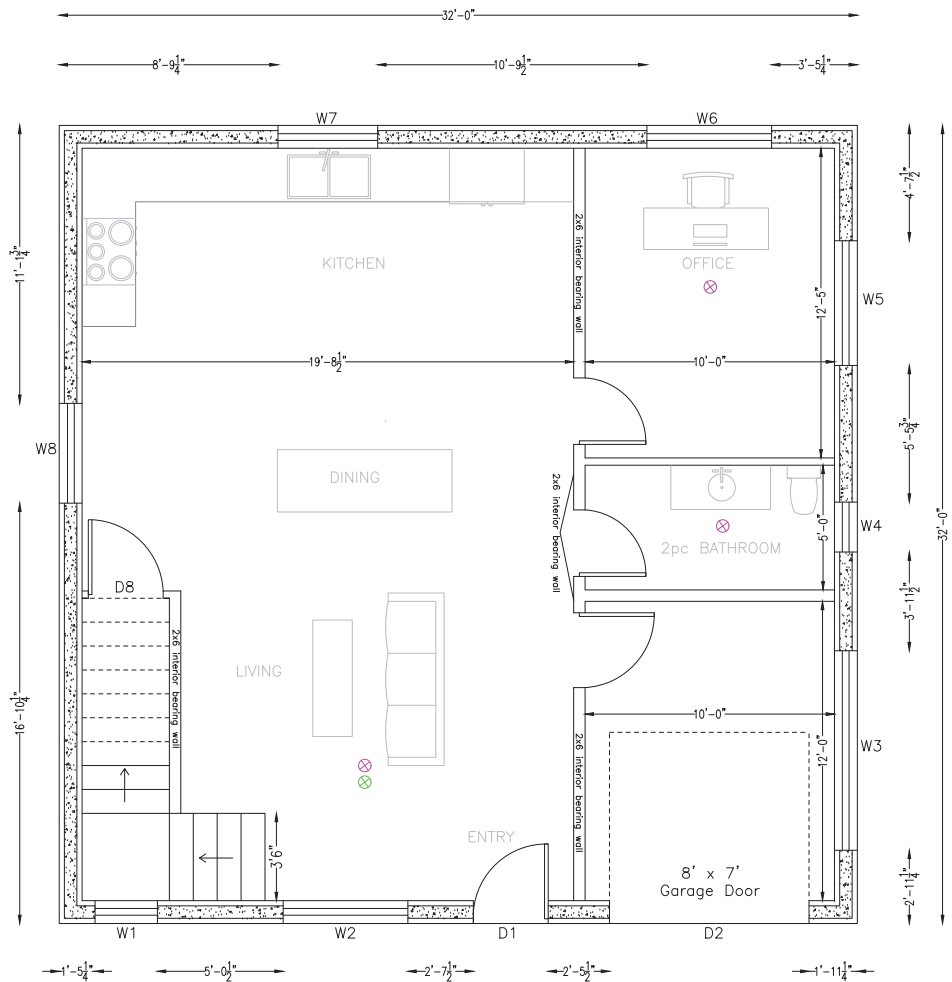
(b) every door between the garage and the remainder of the building shall conform to Article 9.10.13.15.

(5) Where membrane materials are used to provide the required airtightness in the air barrier system, all joints shall be sealed and structurally supported.

Window/Lintel Schedule		
Window	Size (LxH)	Lintel size
W1	30"x36"	ICF Lintel
W2	60"x36"	ICF Lintel
W3	96"x36"	D.B.O
W4	24"x36"	ICF Lintel
W5	60"x48"	ICF Lintel
W6	60"x48"	ICF Lintel
W7	48"x28"	ICF Lintel
W8	48"x48"	ICF Lintel
W9	72"x42"	2ply 2x10 spf
W10	48"x48"	2ply 2x8 spf
W11	48"x48"	2ply 2x8 spf
W12	72"x42"	2ply 2x10 spf
W13	36"x48"	2ply 2x8 spf

Door/Lintel Schedule		
Door	Size (LxH)	Lintel size
D1	36"x80"	ICF Lintel
D2	96"x84"	D.B.O
D3	72"x80"	2ply 2x10 spf
D4	36"x80"	2ply 2x8 spf

Note: LINTELS IN ICF TO BE REINFORCED ICF. OPENINGS OVER 48" TO BE REINFORCED WITH REBAR STIRRUPS EVER 8" WITH 1-15MM BAR AT TOP & BOTTOM, WITH A MIN. LINTEL DEPTH OF 16" & STIRRUP END DISTANCE OF 16"



FIRST FLOOR LAYOUT



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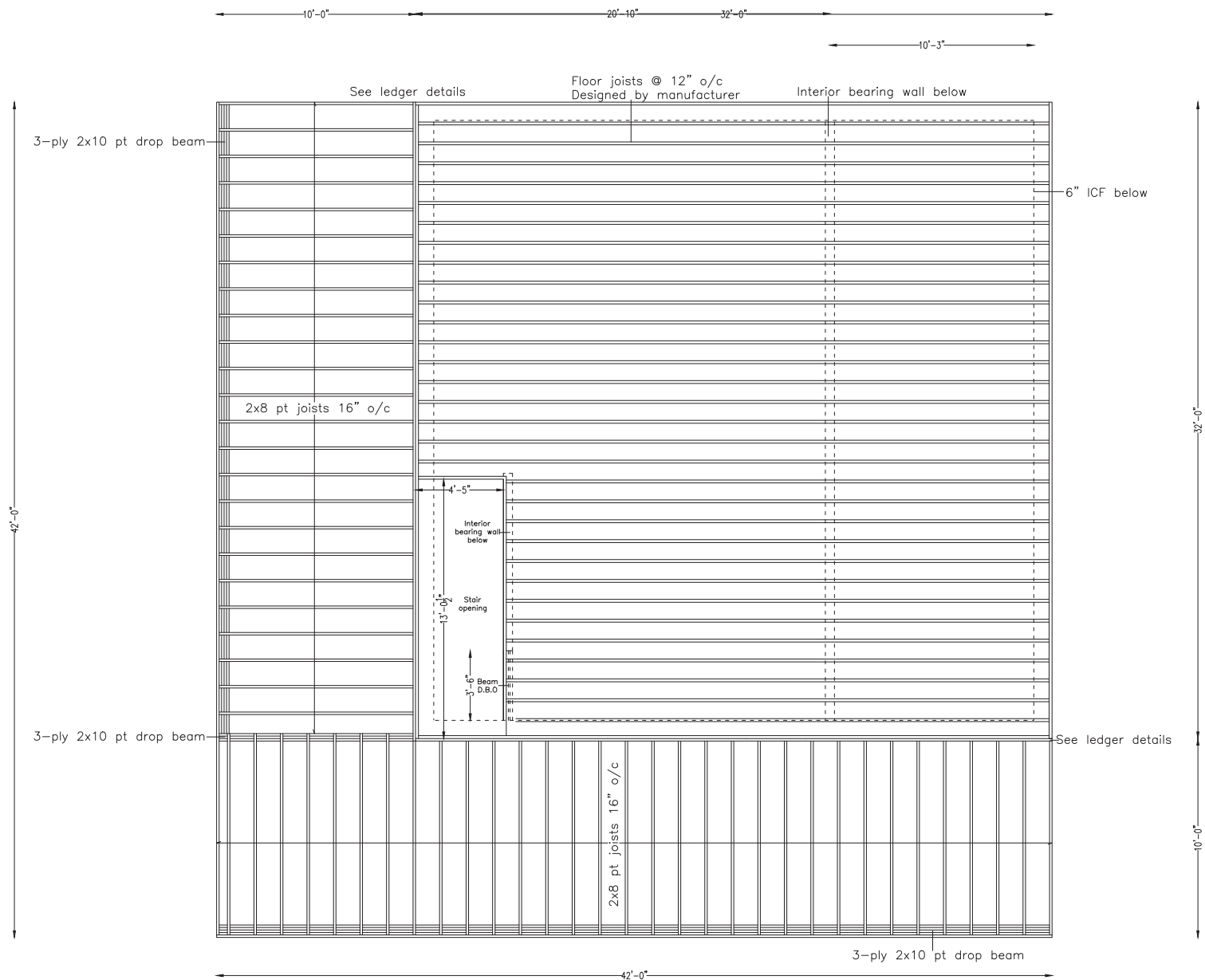
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Second Dwelling

Drawn by: E. Vince

Date: April 23rd, 2025

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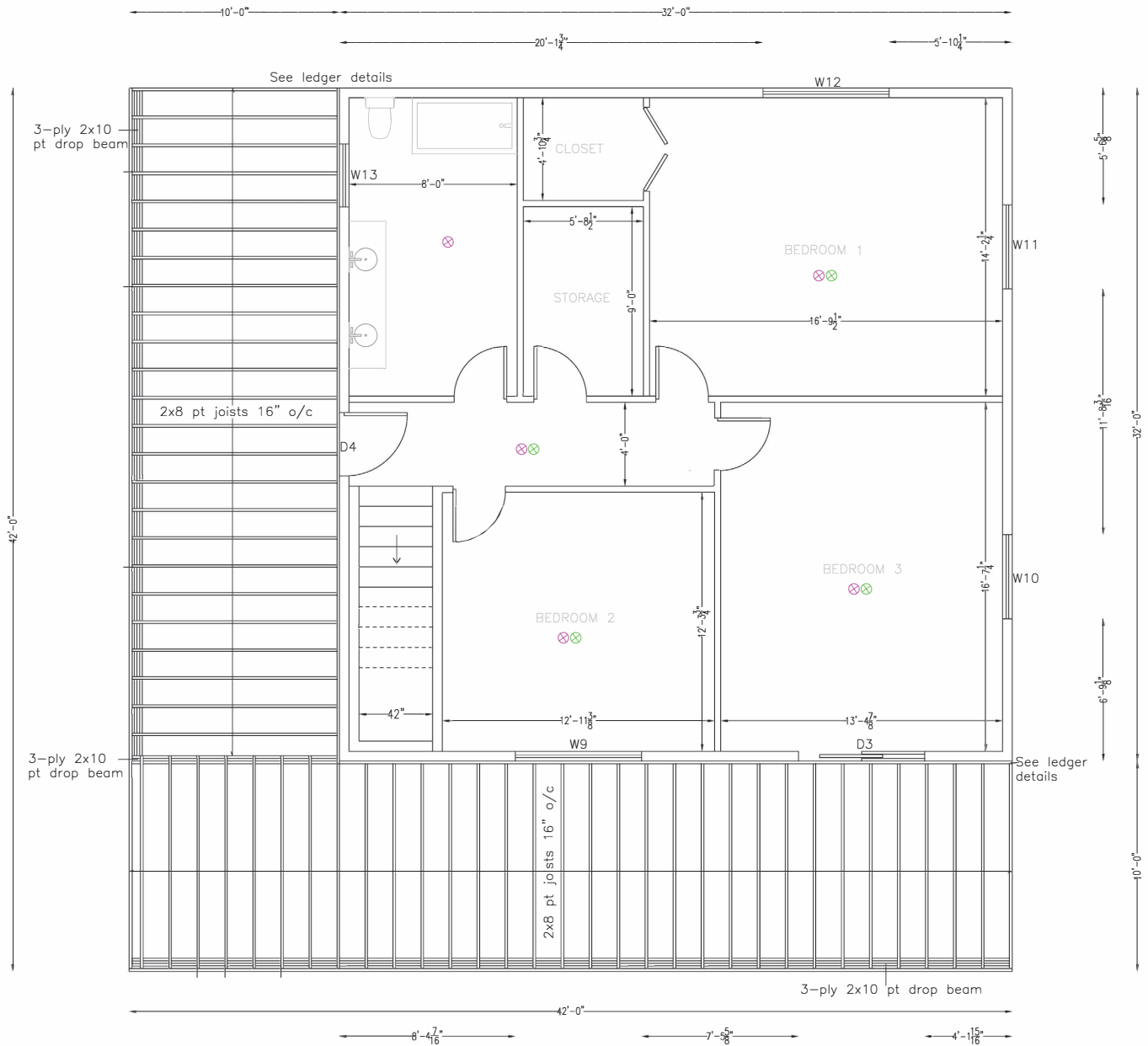
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FLOOR PLANS - 2nd FLOOR

LEGEND (See details)	
	Smoke Alarm
	Carbon Monoxide Alarm
	Interior 2x6 bearing wall



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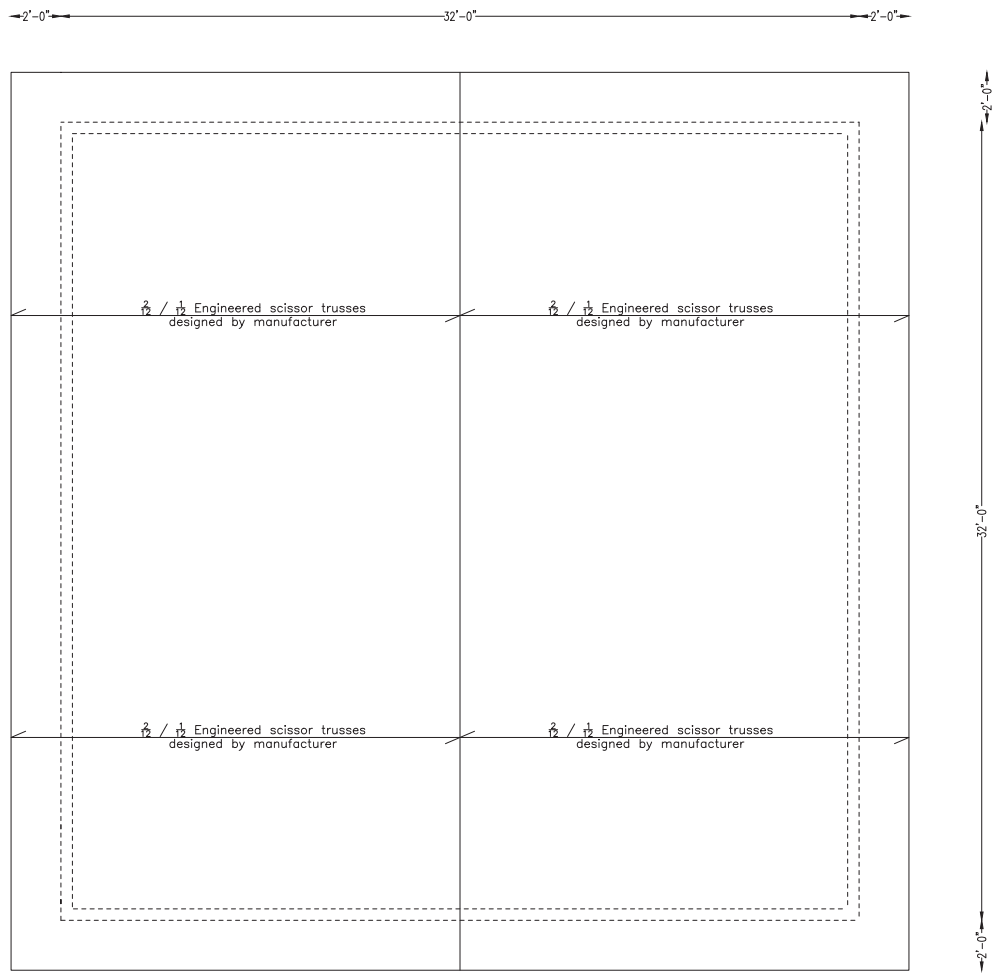
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SECOND FLOOR LAYOUT NOT TO SCALE

ROOF PLAN



ROOF PLAN



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ELEVATIONS



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Second Dwelling

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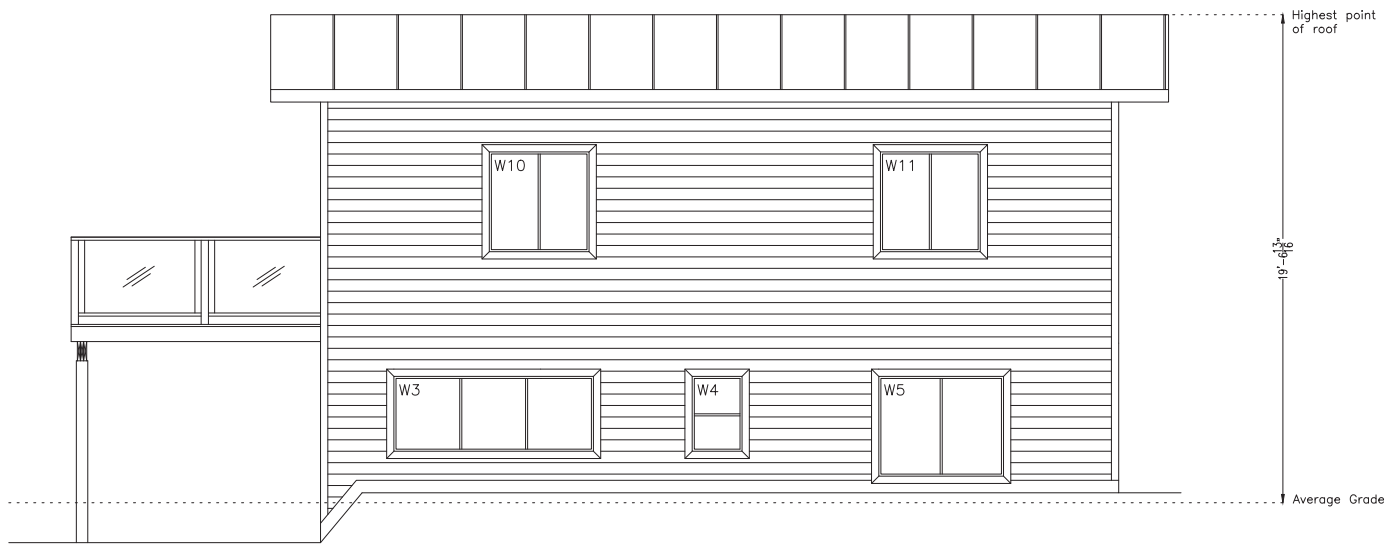


FRONT ELEVATION

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ELEVATIONS



RIGHT ELEVATION

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ELEVATIONS



REAR ELEVATION

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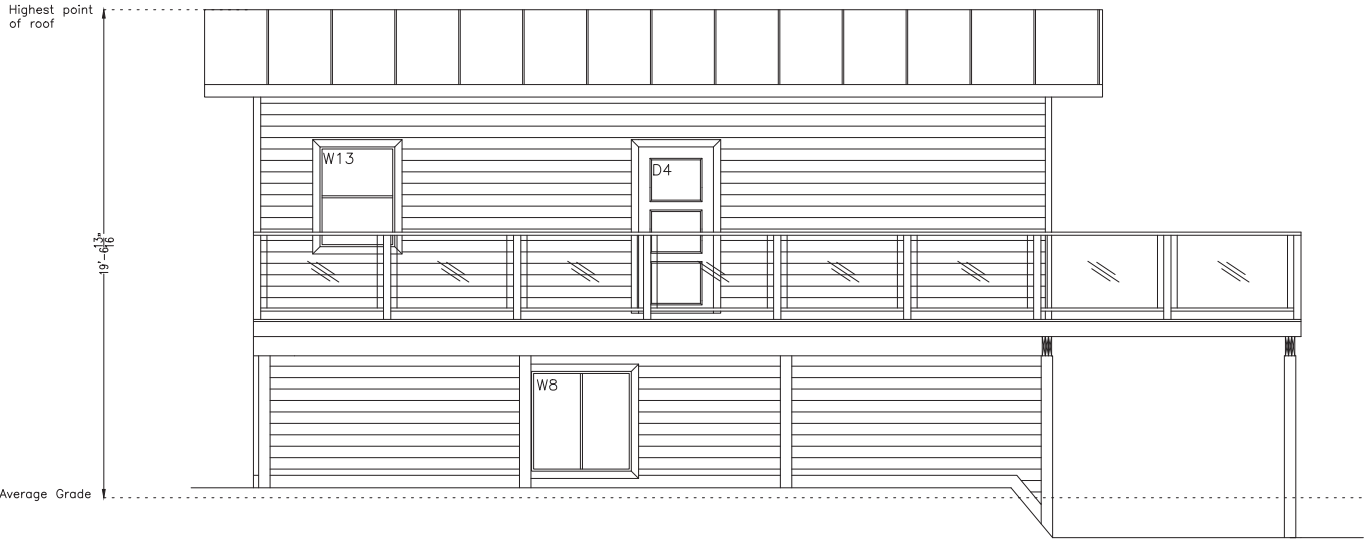
Project:
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ELEVATIONS



LEFT ELEVATION

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Second Dwelling

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ELEVATIONS

$\frac{2}{3}$ / $\frac{1}{2}$ Engineered scissor trusses designed by manufacturer
 $\frac{1}{2}$ " plywood sheathing w/H-clips
2x4 ladders & 2x6 subfascia
Ice & Watershield to extend min. 36" up roof @ eave
Roof Finish as per owner
min. R31 insulation w/6mil poly, taped & sealed @ joints. Allow 1" Air gap for insulation
Ceiling finish as per owner

Exterior stud walls:
Interior finish as per owner
min. R-24 insulation
6 mil poly taped & sealed @ joints
2x6spf studs @ 16" o/c
Double top plate
min. $\frac{7}{16}$ " OSB wall sheathing
Air barrier taped @ seams
Siding as per owner

Min. 42" Railing installed as per manufacturer's specs & O.B.C.

2x8pt joists @ 16" o/c
3-ply 2x10pt beam

See deck ledger connection detail

10" Sono tube on 24" Big Foot (min. 48" below grade)
w/ 6x6pt post anchored to pier with galv. carport saddle

AMVIC 6" Plus (R30) ICF walls installed as per manufacturer specs
 $\frac{3}{4}$ " strapping, James Hardie siding as per owner

Exposed ICF to be covered in accordance with O.B.C. 9.10.17.

Min. 4" Thick Concrete Floor
Not less than 100 mm of coarse clean granular material containing not more than 10% of material that will pass a 4 mm sieve shall be placed beneath floors-on-ground, resting on undisturbed soil. If not undisturbed, compacted to 75 kPA

REAR CROSS SECTION

1. Backfill shall be placed to avoid damaging the foundation wall, drainage tile, drainage layer, externally applied thermal insulation, waterproofing and dampproofing of the wall.
2. Backfill shall be graded to prevent drainage towards the foundation after settling.
3. Backfill within 23" of foundation shall be free of all debris and boulders larger than 9" dia.



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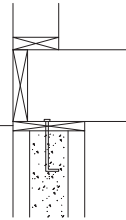
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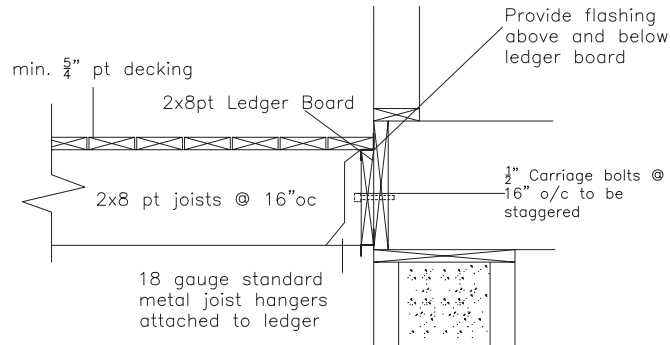
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Sill Connection Detail

2x12pt Sill Plate
w/ gasket
Fastened to ICF w/ $\frac{1}{2}$ "
Anchor bolts @ 4' o/c



Deck Ledger Detail



Concrete Notes

- Concrete shall be designed, mixed, placed, cured and tested in accordance with CAN-A438-M, "Concrete Construction for Housing and Small Buildings"
- After 28 days un-reinforced concrete shall have a compression strength of not less than:
 - 32mps (4650psi) with 5 to 8% air retainment for garage and carport floors and all exterior flatwork
 - 25mpa (3600psi) for floor on grade where no dampproofing is provided
 - Or as specified by local building codes and/or bylaws

Backfill Notes

- Backfill shall be placed to avoid damaging the foundation wall, drainage tile, drainage layer, externally applied thermal insulation, waterproofing and dampproofing of the wall.
- Backfill shall be graded to prevent drainage towards the foundation after settling.
- Backfill within 23" of foundation shall be free of all debris and boulders larger than 9" dia.

Step Footing Notes

- Step footings, and foundations as required to suit grade conditions, as determined on site by contractor or homeowner.
- The min. vertical rise of stepped footings in firm soil conditions to be 23-5/8" and 16" for sand & gravel.
- The min. horizontal distance between stepped footings to be 23-5/8"



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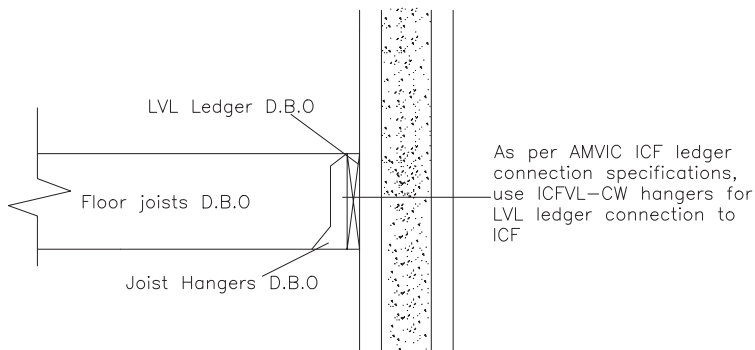
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Crystal Latanville
Second Dwelling

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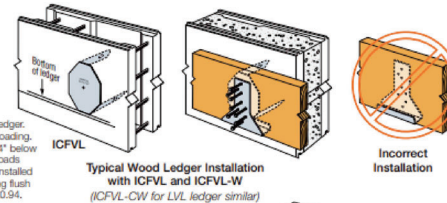
Floor Ledger Detail



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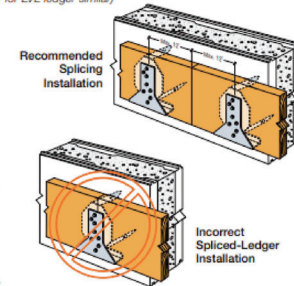
Allowable Loads (lb.) - ASD	
Vertical	Lateral
1,940	1,905

- Use (B) ICF-D3.62 screws (provided).
- Loads apply to ICFs with foam thickness 3 1/4" or less.
- Loads assume a minimum Spruce-Pine-Fir ledger.
- Loads may not be increased for short-term loading.
- The ICFVL must be installed no closer than 4" below the top of the wall to achieve the allowable loads shown. For installations where the ICFVL is installed less than 4" from the top of the wall (including flush applications) multiply the allowable loads by 0.94.



ICFVL Spacing to Replace Anchor Bolts							
1/4" Diameter Bolts				1/2" Diameter Bolts			
12" o.c.	24" o.c.	36" o.c.	48" o.c.	12" o.c.	24" o.c.	36" o.c.	48" o.c.
48"	48"	48"	48"	48"	48"	48"	48"
(2) 1/2" Diameter Bolts				1/2" Diameter Bolts			
12" o.c.	24" o.c.	36" o.c.	48" o.c.	12" o.c.	24" o.c.	36" o.c.	48" o.c.
24"	48"	48"	48"	42"	48"	48"	48"

- This table addresses vertical load applications only.
- The Designer may specify different spacing based on the load requirements.
- Spacings are based on perpendicular to grain capacity of bolt in Spruce-Pine-Fir wood ledger compared to tested value of ICFVL with a maximum allowable spacing of 48".
- Connector spacing requirements are based on a $C_D = 1.00$ load duration. Contact Simpson Strong-Tie for alternate load durations.
- Bolt design values are based on 2005 NDS Table 11E for a dowel bearing strength of $F_u = 7,500$ psi in concrete with a minimum $f'_c = 2,500$ psi and a 6" anchor embedment with a bolt bending yield strength of $F_y = 45,000$ psi.



9.33.4.2. Location of Carbon Monoxide Alarms

- (1) Where a fuel–burning appliance is installed in a suite of residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the suite.
- (2) Where a fuel–burning appliance is installed in a service room that is not in a suite of residential occupancy, a carbon monoxide alarm shall be installed,
 - (a) adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the service room, and
 - (b) in the service room.
- (3) Where a storage garage is located in a building containing a residential occupancy, a carbon monoxide alarm shall be installed adjacent to each sleeping area in every suite of residential occupancy that is adjacent to the storage garage.
- (4) Where a storage garage serves only the dwelling unit to which it is attached or built in, a carbon monoxide alarm shall be installed adjacent to each sleeping area in the dwelling unit.
- (5) A carbon monoxide alarm shall be mechanically fixed,
 - (a) at the manufacturer’s recommended height, or
 - (b) in the absence of specific instructions, on or near the ceiling.

The Ontario Building Code | Required Smoke Alarms

9.10.19.1. Required Smoke Alarms

- (1) Smoke alarms conforming to CAN/ulc–S531, "Smoke Alarms", shall be installed in each dwelling unit and in each sleeping room not within a dwelling unit.
- (2) Smoke alarms required in Sentence (1) shall have a visual signalling component conforming to the requirements in 18.5.3. (light, Color and Pulse Characteristics) of nfpa 72, "National Fire Alarm and Signaling Code".
- (3) The visual signalling component required in Sentence (2) need not,
 - (a) be integrated with the smoke alarm provided it is interconnected to it,
 - (b) be on battery backup, or
 - (c) have synchronized flash rates, when installed in a dwelling unit.
- (4) The luminous intensity for visual signalling components required in Sentence (2) that are installed in sleeping rooms shall be a minimum of 175 cd.
- (5) Smoke alarms required in Sentence (1) shall be installed on or near the ceiling.

Section 9.39. Reinforced Concrete Slabs

- (1) This Section applies to,
 - (a) reinforced concrete slabs that are suspended over cold rooms in basements, and are supported by foundation walls along the perimeter of the slab with no additional interior supports, and
- 9.39.1.2. Concrete
 - (1) Concrete shall conform to Section 9.3.
- 9.39.1.3. Reinforcing Steel
 - (1) Reinforcing steel shall conform to Grade 400 in CAN/CSA–G30.18–M, "Billet–Steel Bars for Concrete Reinforcement".
- 9.39.1.4. Slab Construction
 - (1) Concrete shall be cast against form work in accordance with CSA A23.1, "Concrete Materials and Methods of Concrete Construction".
 - (2) The slab shall be not less than 125 mm thick.
 - (3) The slab shall be reinforced with 10M bars spaced not more than 200 mm o.c. in each direction, with 30 mm clear cover from the bottom of the slab to the first layer of bars, and the second layer of bars laid directly on top of the lower layer in the opposite direction.
 - (4) The slab shall bear not less than 75 mm on the supporting foundation walls and be anchored to the walls with 600 mm× 600 mm 10M bent dowels spaced at not more than 600 mm o.c.
 - (5) Exposed slabs shall be sloped to effectively shed water away from the exterior wall.



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Ground to
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Designer *Emily Vince*

Signature required for permit submission. Should these drawings be submitted without signature please contact the designer

All designs to remain property of Ground to Peak Design & can not be copied without consent
Do not scale drawings
Contractor must verify all dimensions on site prior to construction & report any discrepancies to the designer for revision and resubmission to the building department
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Second Dwelling

Drawn by: E. Vince

Date: April 23rd, 2025

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GENERAL PROJECT NOTES:

1. THE DRAWINGS AND DETAILS ARE TO BE READ TOGETHER, NOT AS INDIVIDUAL PAGES.
2. THE OWNER / BUILDER IS RESPONSIBLE FOR THE SITE PLAN AND LOCATION OF THE BUILDING INCLUDING CONFIRMING THE TYPE OF SOIL AND THE BEARING SOIL PRESSURE ALLOWED.

GENERAL CONSTRUCTION MATERIAL NOTES:

1. ALL CONSTRUCTION MATERIALS MUST BE APPROVED FOR IT'S INTENDED USE IN IT'S BUILDING LOCATION
2. LUMBER SHALL CONFORM TO THE REQUIREMENTS IN O.B.C. 9.3.2

GENERAL FOUNDATION NOTES:

1. 6" ICF FOUNDATION PINNED TO 25"x10" STRIP FOOTINGS, OR PINNED DIRECTLY TO BEDROCK, OR PINNED TO 20"x6" LEVELING PAD AS NEEDED.
2. 10" SONO TUBES ON 24" BIG FOOTS

GENERAL DOOR & WINDOW NOTES:

1. GLASS SHALL CONFORM TO O.B.C 9.6
 2. GLASS IN STORM DOORS, SLIDING DOORS, AND SIDELIGHTS GREATER THAN 19-3/4" MUST BE TEMPERED OR LAMINATED SAFETY GLASS
 3. THE PERFORMANCE OF WINDOWS AND DOORS SHALL CONFORM TO O.B.C. 9.7.3
 4. THE INSTALLATION SHALL CONFORM TO MANUFACTURER'S WRITTEN INSTRUCTIONS.
 5. WINDOWS AND DOORS SHALL BE SEALED TO AIR BARRIERS AND VAPOUR BARRIERS.
- DRIP FLASHING MUST BE USED ABOVE ALL WINDOWS AND DOORS.

GENERAL FRAMING NOTES:

1. ALL MEMBERS TO BE FRAMED, ANCHORED, FASTENED, TIED AND BRACED TO PROVIDE THE NECESSARY STRENGTH AND RIGIDITY O.B.C. 9.23.2.1
2. ALL EXPOSED LUMBER TO BE PRESSURE TREATED MATERIAL OR SUITED FOR THE ELEMENTS

GENERAL STAIR NOTES:

1. INTERIOR STAIRS WITHIN DWELLINGS SHALL HAVE
 - MAX RISE - 7-7/8"
 - MIN RISE - 4-7/8"
 - MIN RUN - 8-1/4"
 - MIN TREAD WIDTH - 9-1/4"(INCLUDES 1" NOSING)
 - MIN HEAD ROOM - 2'11"
 - MIN (3) RISERS UNLESS NOTED
2. MAXIMUM STAIR HEIGHT OR MAXIMUM VERTICAL HEIGHT BETWEEN LANDINGS SHALL BE 12'2". CLEAR HEIGHT OVER LANDINGS SHALL BE 6'5" IN DWELLINGS AND 6'9" ELSEWHERE.
3. INTERIOR RAMPS WITHIN DWELLING UNITS SHALL HAVE MAX 1 TO 10 SLOPE AND EXTERIOR RAMPS SHALL HAVE MAX 1 TO 8 SLOPE
4. PROVIDE HANDRAILS AND GUARDS FOR STAIRS AND RAMPS AND LANDINGS SHALL BE 2'7" MIN TO 3'2" MAX ABOVE NOSING OR RAMP. HAND RAILS SHALL BE CONTINUOUS AND UNOBSTRUCTED EXCEPT FOR NEWEL POSTS AT CHANGES OF DIRECTION.
5. GUARDRAIL AND OR HANDRAIL HEIGHT SHALL COMPLY TO THE FOLLOWING:
 - INTERIOR
 - RAILING LANDING = 2'11"
 - RAIL STAIRS = 2'7"
 - EXTERIOR
 - RAIL LANDING & DECKS = 2'11" IF LESS THAN 5'11" ABOVE FIN GRADE
 - RAIL LANDING & DECKS = 3'6" IF MORE THAN 5'11" ABOVE FIN GRADE
6. GUARDS AT LANDINGS, BALCONIES, FLOOR SEPARATION SERVING DWELLINGS SHALL BE MIN 3'6" HIGH (EXCEPT FOR SEPARATIONS OF LESS THAN 5'11" IN HEIGHT WHICH REQUIRE GUARDS 3'0" HIGH).

PROJECT DETAILS AND FINISHES

1. 6" AMVIC ICF FOUNDATION PINNED TO 36"x12" STRIP FOOTINGS, OR PINNED DIRECTLY TO BEDROCK
2. EXTERIOR WALLS 6" AMVIC ICF & 2X6" SPRUCE STUDS @ 16" O/C (SEE PLANS FOR LOCATION)
3. EXTERIOR SHEATHING - 1/2" PLYWOOD, W/ TYVEK HOUSE WRAP
4. 2X8 PT DECK JOIST @ 16" O/C
5. FLOOR SYSTEMS DESIGNED BY MANUFACTURER
6. ROOF SYSTEM - ENGINEERED SCISSOR TRUSSES D.B.O.
7. ROOF SHEATHING - 1/2" PLY W/ H-CLIPS
8. ICE & WATER SHIELD, EAVE PROTECTION SHALL EXTEND MIN. 3' UP ROOF SLOPE TO A LINE MIN. 12" INSIDE INTERIOR FACE OF EXTERIOR WALL
9. ROOFING - T.B.D. BY HOME OWNER, INSTALL PER MANUFACTURERS INSTRUCTIONS
10. SIDING - T.B.D. BY HOME OWNER, INSTALL PER MANUFACTURERS INSTRUCTIONS
11. WINDOWS - MANUFACTURER T.B.D
12. SOFFIT & FASCIA - T.B.D.
13. R31 INSULATION IN CEILING, R24 IN EXTERIOR WALLS

ABBREVIATIONS:

THE FOLLOWING IS A LIST OF ABBREVIATIONS USED THROUGHOUT THESE PLANS:

W/ - WITH
PT - PRESSURE TREATED
@ - AT
DIA. - DIAMETER
OBC - ONTARIO BUILDING CODE
MIN - MINIMUM
MAX - MAXIMUM
O/C - ON CENTER
U.N.O - UNLESS OTHERWISE NOTED
OH - OVER HANG
APPROX. - APPROXIMATE
T&G - TONGUE AND GROOVE
GALV. - GALVANIZED
T.B.D - TO BE DETERMINED



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Item	Column 1 Construction Detail	Column 2 Minimum Length of Nails, mm	Column 3 Minimum Number or Maximum Spacing of Nails
1.	Floor joist to plate - toe nail	82	2
2.	Wood or metal strapping to underside of floor joists	57	2
3.	Cross bracing to joists	57	2 at each end
4.	Double header or trimmer joists	76	300 mm (o.c.)
5.	Floor joist to stud (balloon construction)	76	2
6.	Ledger strip to wood beam	82	2 per joist
7.	Joist to joist splice (See also Table 9.23.13.8.)	76	2 at each end
8.	Header joist end nailed to joists along perimeter	101	3
9.	Tail joist to adjacent header joist (end nailed) around openings	82	5
10.	Each header joist to adjacent trimmer joist (end nailed) around openings	101	3
11.	Stud to wall plate (each end) toe nail or end nail	62	4
12.	Doubled studs at openings, or studs at walls or wall intersections and corners	82	2
13.	Doubled top wall plates	76	750 mm (o.c.)
14.	Bottom wall plate or sole plate to joists or blocking (exterior walls) ⁽¹⁾	82	600 mm (o.c.)
15.	Interior walls to framing or subflooring	82	400 mm (o.c.)
16.	Horizontal member over openings in non-loadbearing walls - each end	82	600 mm (o.c.)
17.	Lintels to studs	82	2
18.	Ceiling joist to plate - toe nail each end	82	2 at each end
19.	Roof rafter, roof truss or roof joist to plate - toe nail	82	3
20.	Rafter plate to each ceiling joist	101	2
21.	Rafter to joist (with ridge supported)	76	3
22.	Rafter to joist (with ridge unsupported)	76	See Table 9.23.13.8.
23.	Onset plate to each rafter at peak	57	4
24.	Rafter to ridge board - toe nail - end nail	82	3
25.	Collar tie to rafter - each end	76	3
26.	Collar tie lateral support to each collar tie	57	2
27.	Jack rafter to hip or valley rafter	82	2
28.	Roof strut to rafter	76	3
29.	Roof strut to loadbearing wall - toe nail	82	2
30.	38 mm x 140 mm or less plank decking to support	82	2
31.	Plank decking wider than 38 mm x 140 mm to support	82	3
32.	38 mm edge laid plank decking to support (toe nail)	76	1
33.	38 mm edge laid plank to each other	76	450 mm (o.c.)