

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOCA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-66/25
Roll No.: 6-21-086

Owners:	Adam & Laura Carapella	
Address:	1003 Wynanne Drive	
Description:	Lot 20, Concession B, Lot 28, Plan 38, Acton Island, (Medora)	
Zoning:	Waterfront Residential (WR1)	Lake Muskoka (Category 1 Lake) Schedule: 42
Hearing Date: Monday, February, 9th, 2026 at 9:00 a.m.		



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

The applicants propose to construct a new single storey boathouse with a roof top sundeck. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (4,089 sq. ft.)	10.2% (4,177 sq. ft.)	0.2% (88 sq. ft.)	Construct a Single Storey Boathouse with a Roof Top Sundeck
B	4.1.3 & 4.1.3.7	Maximum Lot Coverage (Within 200 ft. of High Water Mark)	10% (2,658 sq. ft.)	10.2% (2,724 sq. ft.)	0.2% (66 sq. ft.)	
C	4.1.7 & 4.1.7.8	Minimum Side Yard Setback	45 ft.	25 ft.	20 ft.	

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **February 4, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 14th day of January, 2026.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca

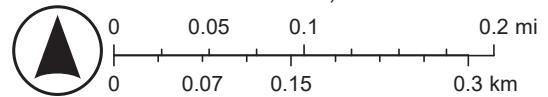


KEY MAP, A-66/25 (CARAPELLA)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

1:9,044



Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

Parcel: Assessment

Private

District Municipality

Stream

Area Municipality

Waterbody

Geographic Township

Major Lake

Road Network

Canada_Hillshade

Township

World_Hillshade

Lot StatSLF: $\pm 38.49m$ (126.28')**Lot Area:** $\pm 0.38ha$ (0.94ac)**Lot Area (Within 200ft. of high water mark):** $\pm 2470m^2$

(0.25ha/0.61ac)

Lot Coverage**Existing:**

- Dwelling: $200m^2$
- Garage: $67m^2$
- Bunkie: $68m^2$

Proposed:

- Boathouse: $53m^2$

(Total): $388m^2$ /10.2%(Within 61m of the high water mark): $253m^2$ /10.2%**Shoreline Setback:**

- Cottage: $16.46m$
- Deck: $12.5m$
- Bunkie: $61.22m$

Interior Side Yard**Setback:**

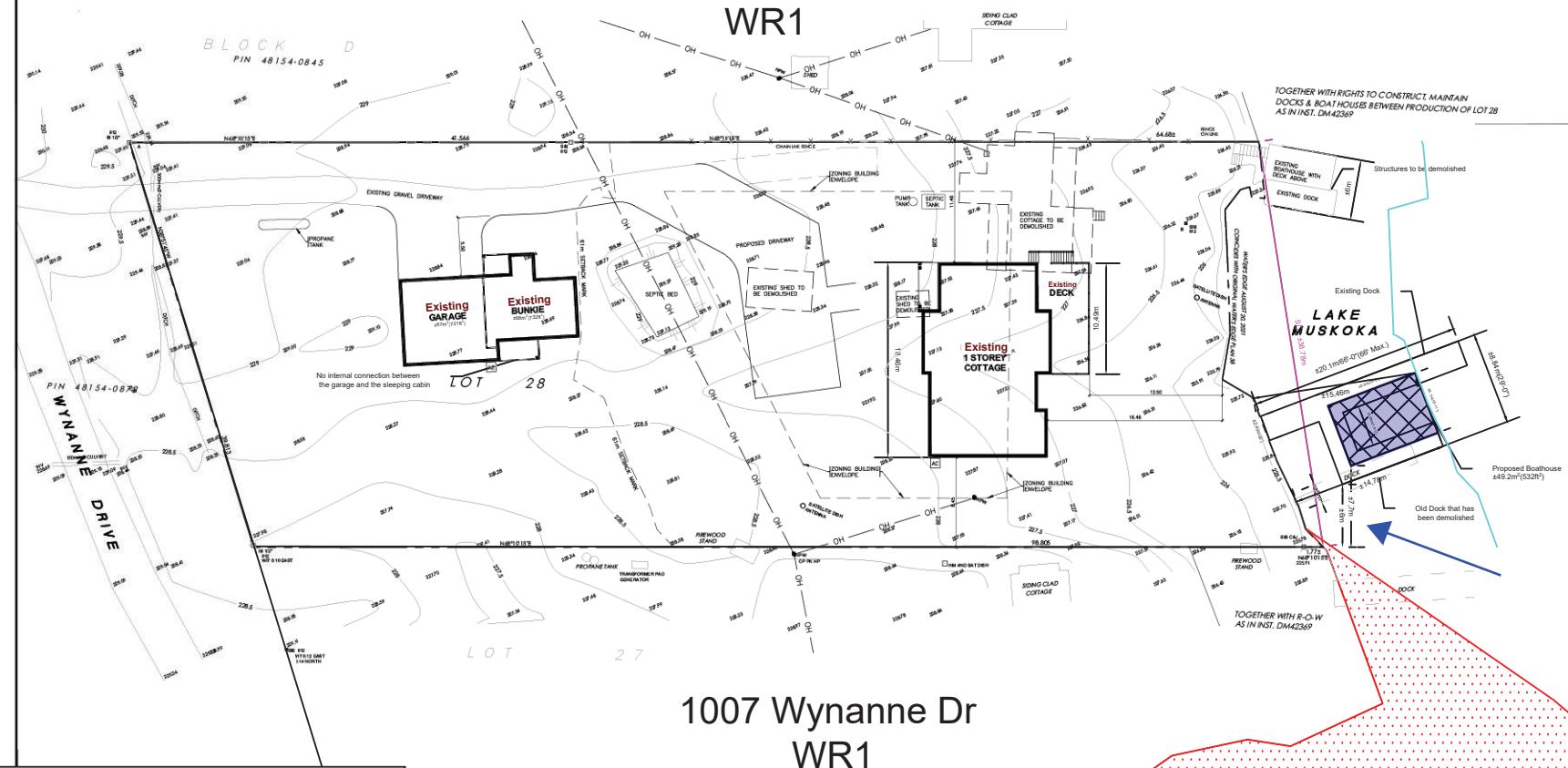
- Cottage: $8.45m$
- Dock: $6m$
- Boathouse: $7.77m$

SITE PLAN



1677 Wynanne Dr

WR1

1007 Wynanne Dr
WR11015 Wynanne Dr
WR1

TOTAL LOT AREA = $3,739.98m^2$
 TOTAL BUNKIE/GARAGE AREA = $158.88m^2$
 LOT COVERAGE = $253.00m^2$ (6.77%)
 AREA OF COVERAGE COTTAGE = $203.67m^2$ (9.97%)
 TOTAL AREA OF COVERAGE WITHIN 61m OF SHORE = $221.78m^2$ (MAX. 9.53%)
 TOTAL LOT COVERAGE = $221.78m^2$ (58.85% w/m, 10.02%)

SITE SKETCH

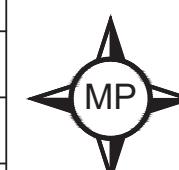
Civic Address: 1003 Wynanne Drive

Owner: Carapella, Adam

Date: January 9, 2026

Rev. #: 2

Drawing By: E.Y.



MP PLANNING INC.

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ELEVATIONS

