

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-18/25**

**Roll No.: 7-3-032**

<b>Owners:</b>	Sean O'Connor & Christine New, 1013 Centre Avenue, PO Box 86, Bala, ON, P0C 1A0		
<b>Address &amp; Description:</b>	1013 Centre Avenue Lot 35, Concession 7, East Part of Lot 21, Plan M-16, (Wood)		
<b>Zoning:</b>	Waterfront Residential (WR5)	Moon River (Category 2 Lake/River)	Schedule: 41
<b>Hearing Date: Monday, June 9<sup>th</sup>, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



### Explanation of the Purpose and Effect:

The applicants propose to demolish a one-storey dwelling and construct a new one-storey dwelling. The applicants propose to recognize an as-built addition to an existing sundeck. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Permitted Lot Coverage Over the Area of the Entire Lot	8% (1,106 sq. ft)	10% (1,376 sq. ft)	2% (279 sq. ft)	Demolish an Existing One-Storey Dwelling and Construct a New One-Story Dwelling
B	4.1.3 & 4.1.3.7	Maximum Permitted Lot Coverage Within 200 ft. of the High Water Mark	8% (820.5 sq. ft)	13.4% (1,376 sq. ft)	5.4% (555.5 sq. ft)	



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
C	4.1.3 & 4.1.3.5	Minimum Required Front Yard Setback (Dwelling)	50 ft.	35.5 ft.	14.5 ft.	
D	4.1.3	Minimum Required Side Yard Setback (Easterly)	15 ft.	1.9 ft.	13.1 ft.	
E	4.1.3	Minimum Required Side Yard Setback (Westerly)	15 ft.	9.1 ft.	5.9 ft.	
F	4.1.3 & 4.1.3.5	Minimum Required Front Yard Setback	40 ft.	21.3 ft.	18.7 ft.	Recognize an As-built Sundeck (Sundeck Addition #1)
G	4.1.3	Minimum Required Side Yard Setback (Westerly)	15 ft.	7 ft.	8 ft.	
H	3.4.1 e.	Minimum Required Lot Area	15,000 sq. ft	13,825.5 sq. ft	1,174.5 sq. ft	Construct a New Sundeck, Landing, and Stairs on an Undersized Lot
I	3.4.1 e.	Minimum Required Lot Frontage	100 ft.	50 ft.	50 ft.	
J	4.1.3	Minimum Required Side Yard Setback (Westerly)	15 ft.	10.8 ft.	4.2 ft.	Construct a New Landing
K	4.1.3	Minimum Required Side Yard Setback (Easterly)	15 ft.	9.5 ft.	5.5 ft.	Construct a New Sundeck (Sundeck 'Addition' #2)



Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
L	4.1.4 iv.	Minimum Required Front Yard Setback	50 ft.	32 ft.	18 ft.	
M	4.1.3	Minimum Required Side Yard Setback (Westerly)	15 ft.	13 ft.	2 ft.	

A key map of the subject property, the applicants' site plan, and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **June 4, 2025. Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 22<sup>nd</sup> day of May, 2025.

Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



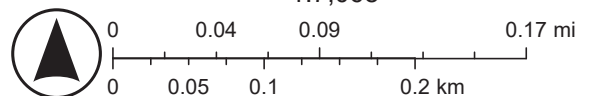
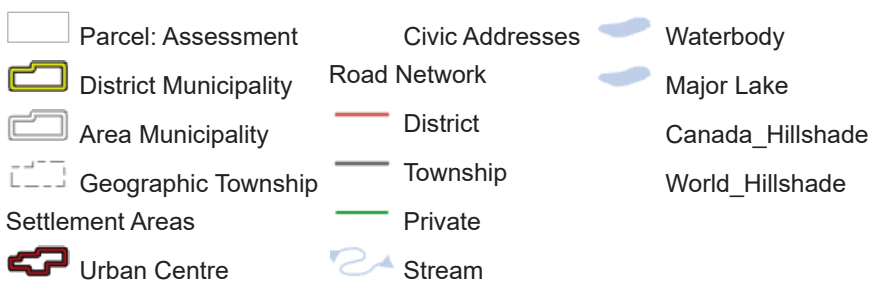
# Key Map, A-18/25 (O'CONNOR & NEW)



3/11/2025, 10:59:10 AM

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

1:7,068



Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

# SITE PLAN



SCALE 1:300 - 11x17



## SITE PLAN DATA

ZONING: WR5 on a Category 2 Watercourse

	REQUIRED	PROVIDED	
LOT AREA:	MIN 1393.5m <sup>2</sup>	1284.43m <sup>2</sup> ±	
Within 61m of HWM:		953.11m <sup>2</sup> ±	
LOT FRONTAGE:	MIN 91.4m	15.3m±	WITH TEMP. SHIP CONTAINER
LOT COVERAGE:	MAX 8%		
(Entire Lot)	(102.75m <sup>2</sup> ±)	Existing: 9.96% (127.88m <sup>2</sup> )	11.10% (142.54m <sup>2</sup> )
		Proposed: 9.95% (127.84m <sup>2</sup> )	N/A
(Within 61m of HWM)	(76.25m <sup>2</sup> ±)	Existing: 13.42% (127.88m <sup>2</sup> )	13.84% (131.91m <sup>2</sup> )
		Proposed: 13.41% (127.84m <sup>2</sup> )	N/A
SETBACKS			
FRONT (SHORE) YARD:	15.2m	Existing: 10.16m	
		Proposed: 10.86m±	
INTERIOR YARD:	4.6m	Existing: 0m	
		Proposed: 0.66±	
REAR YARD:	4.6m	E & P: >4.6m	

LOT COVERAGE BY STRUCTURE		
DESCRIPTION	EXISTING	PROPOSED
SLEEPING CABIN	22.02 Sq.m.	22.02 Sq.m.
SHED	4.48 Sq.m.	4.48 Sq.m.
1 STOREY DWELLING	101.38 Sq.m.	101.34 Sq.m±
TEMPORARY SHIPPING CONTAINER	14.66Sq.m±	N/A
TOTAL LOT COVERAGE	142.54m <sup>2</sup> ±	127.84 m <sup>2</sup> ±

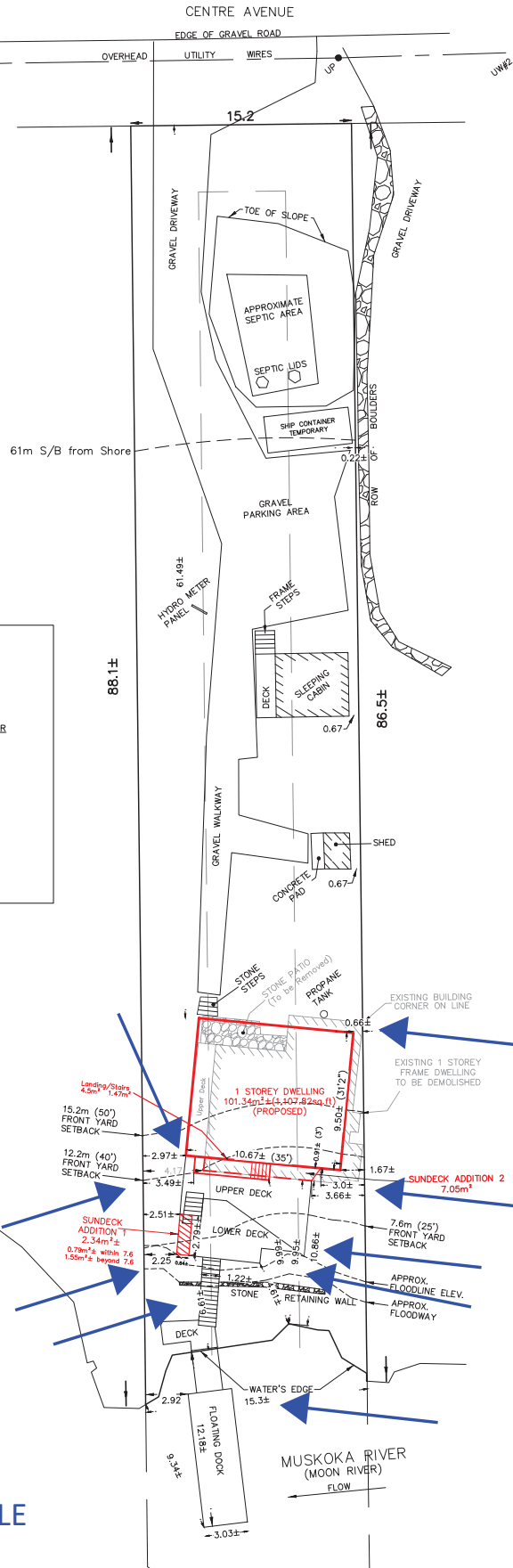
### CAUTION

THE PROPERTY BOUNDARIES ILLUSTRATED ON THIS PLAN HAVE BEEN COMPILED FROM REGISTRY PLANS AND HAVE NOT BEEN CONFIRMED.

THIS SKETCH IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE.

NO PERSON MAY COPY, REPRODUCE, DISTRIBUTE OR ALTER THIS PLAN IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF TULLOCH ENGINEERING. © TULLOCH ENGINEERING, 2025.

NOT TO SCALE



T: 705-789-7851  
huntsville@tulloch.ca

80 MAIN ST W  
HUNTSVILLE, ONTARIO  
P1H 1W9

PROJECT:

**1013 Centre Avenue  
Muskoka Lakes  
Pt Lot 35, Concession 7  
Geographic Township of Wood**

DRAWING:

**Site Sketch**

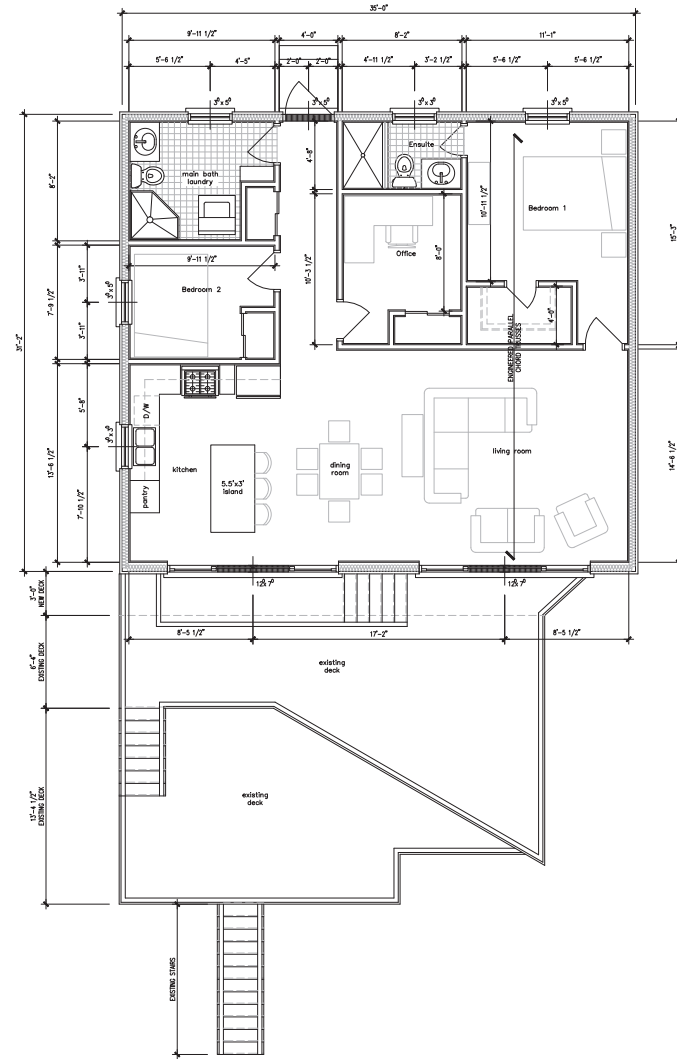
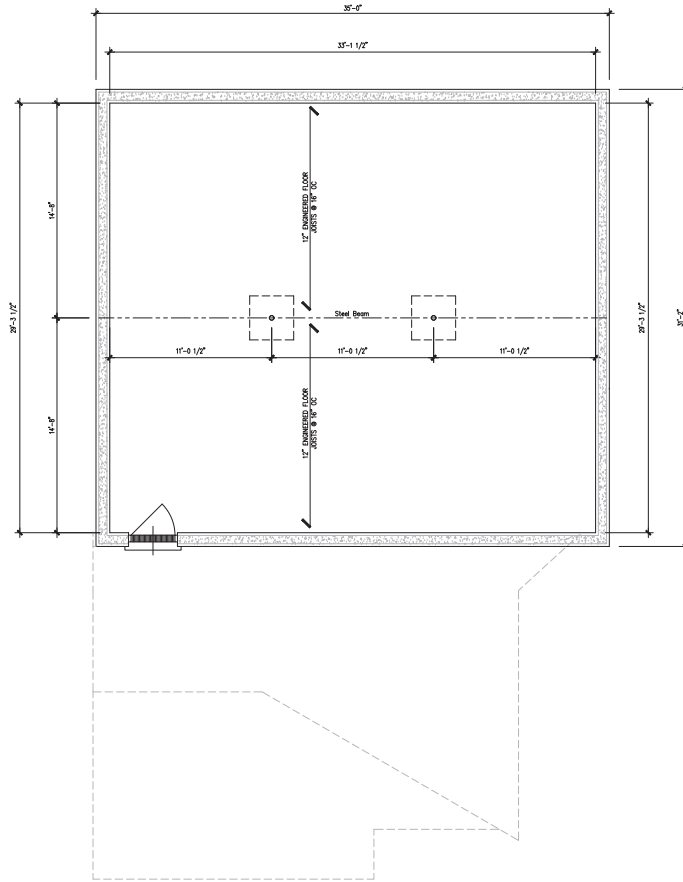
No. DATE BY ISSUES / REVISIONS

DRAWN BY: MDJ CHECKED BY: SS PROJECT No.: 24-1104

SCALE: 1:300 DATE: May 22, 2025

# FLOOR PLANS

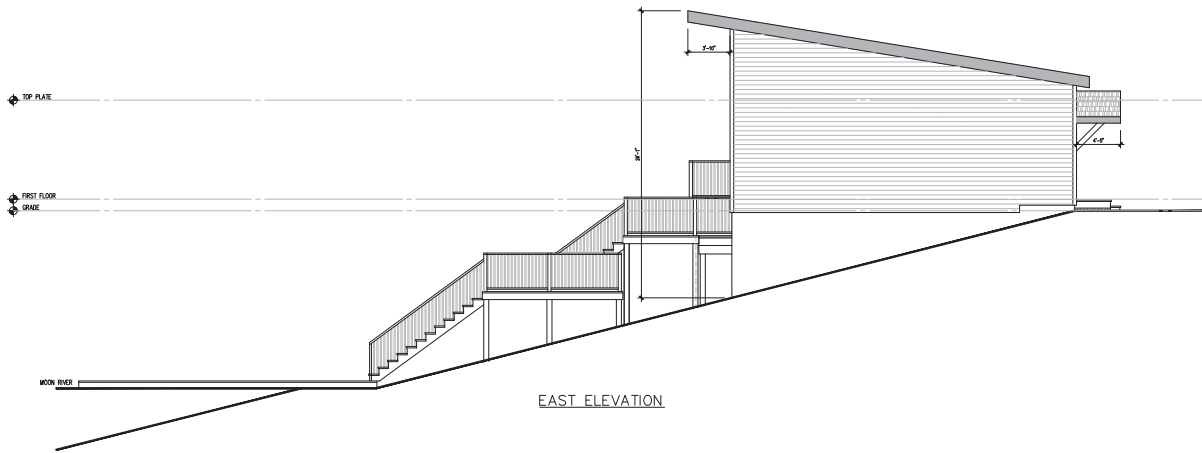
**N-E LEGEND**  
 - COMMONS AREA  
 - OFFICE SPACE  
 - CEILING HEIGHT  
 - FLOOR FINISH



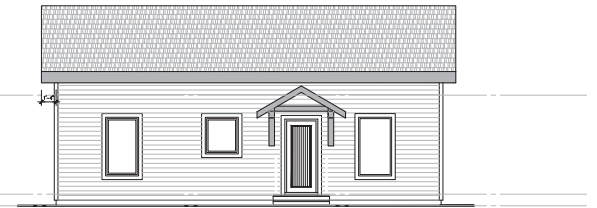
NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

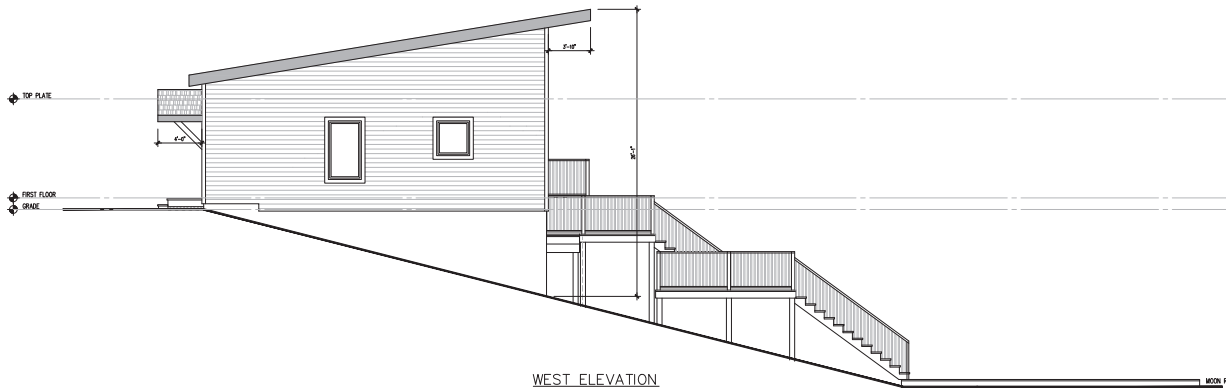
# ELEVATIONS



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



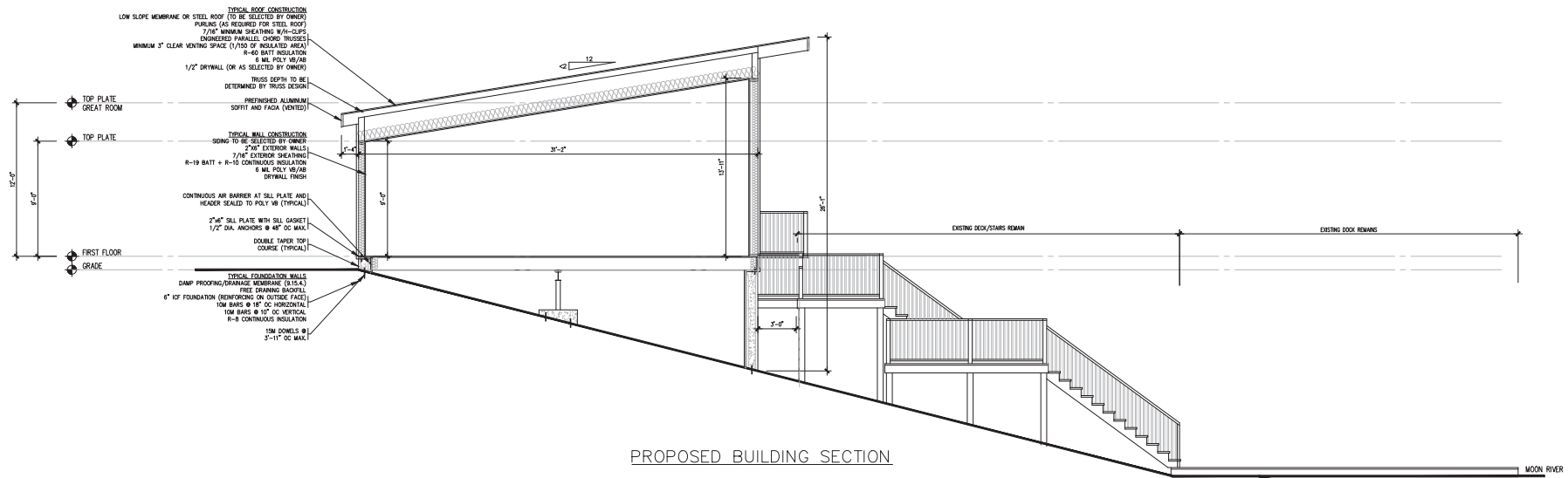
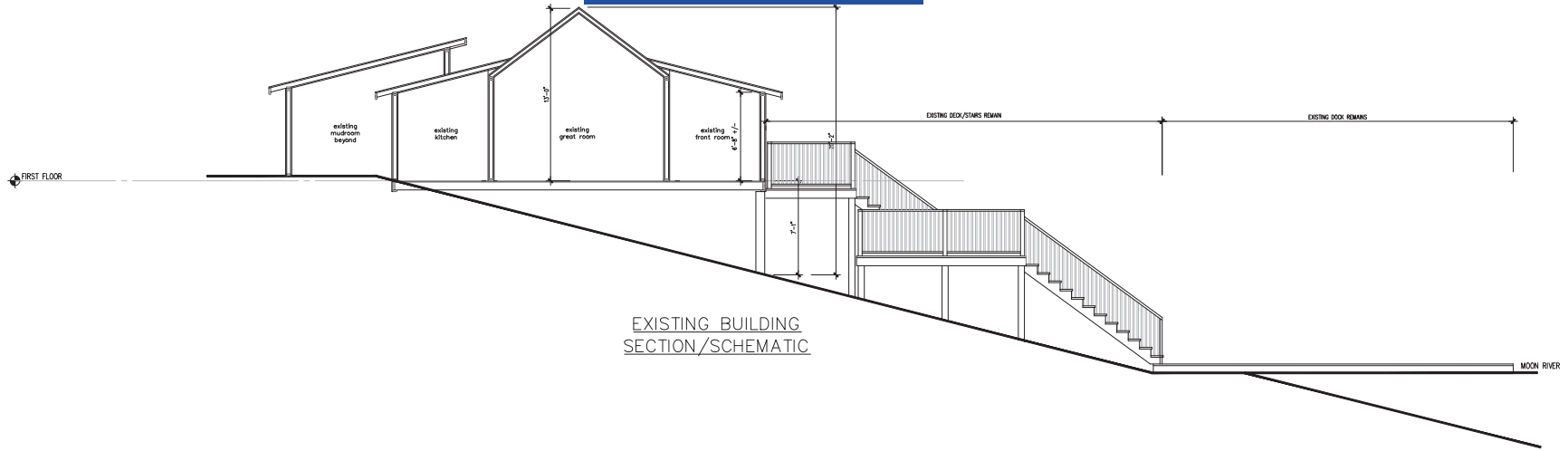
SOUTH ELEVATION

NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY



# ELEVATIONS



NOT TO SCALE

FOR INFORMATIONAL PURPOSES ONLY

PROJECT: Sean and Christine O'Connor  
 New Single Family Home  
 2013 Cotton Ave., Ada, OK  
 DATE: August 25, 2013  
 DRAWN BY: BNS  
 CHECKED BY: BNS  
 SCALE: 1/4" = 1'-0"  
 SHEET NO. 3 OF 3  
 PROJECT NO. 1308

Building Sections  
 3 OF 3