

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-21/25**

**Roll No.: 4-9-025**

<b>Owner:</b>	Uncle Argyle Inc., 8662 8 <sup>th</sup> Concession, RR #2, Moorefield, ON, N0G 2K0		
<b>Address &amp; Description:</b>	1291 Peninsula Road Part of Lot 23, Concession 5, Part 1, Plan 35R-20732, (Medora)		
<b>Zoning:</b>	Waterfront Residential – Highly Sensitive or Over Threshold Lakes (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 28
<b>Hearing Date: Monday, June 9th, 2025 at 9:00 a.m.</b>			

Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### Explanation of the Purpose and Effect:

The applicant proposes to construct a dwelling addition and to recognize an as-built propane tank. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3 & 4.1.3.6	Maximum Lot Coverage (Entire Lot)	10% (3,179 sq. ft.)	10.9% (3,478 sq. ft.)	0.9% (299 sq. ft.)	Construct a Dwelling Addition
B	4.1.3	Minimum Required Front Yard Setback	66 ft.	49 ft.	17 ft.	Recognize an Existing Propane Tank
C	3.23.1	Minimum Required Setback from a Lot Line Abutting a Street	25 ft.	11 ft.	14 ft.	Recognize an Existing Propane Tank

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **June 4, 2025.** **Please note that comments can still be submitted after the agenda has been published.**

Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
this 22nd day of May, 2025.

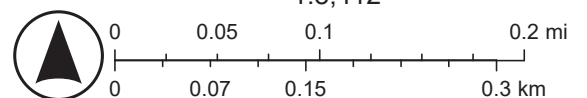
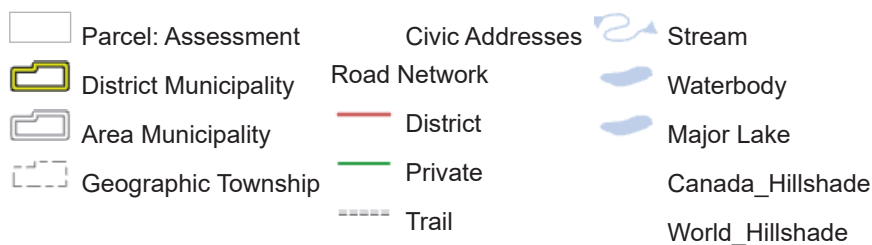
Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)



# Key Map, A-21/25 (UNCLE ARGYLE INC.)



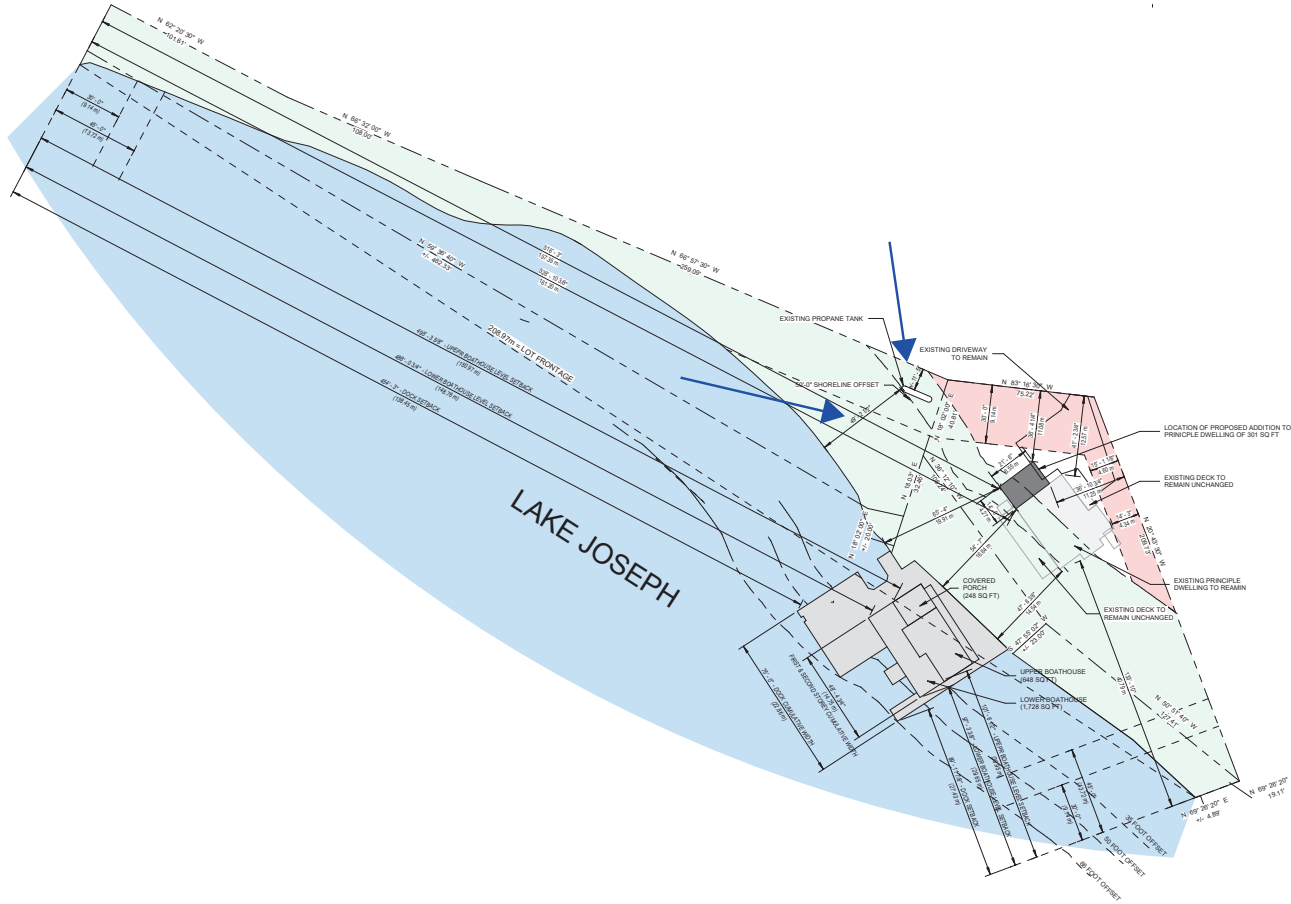
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Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

# SITE PLAN



NOT TO SCALE

## ZONING REQUIRMENTS

MUNICIPALITY	TOWNSHIP OF MUSKOKA
CIVIC ADDRESS	1291 PENINSULA ROAD, PORT SANDFIELD, ON
ROLL NUMBER/PROPERTY NUMBER	4450400020200
LOT DESCRIPTION	3950/12 PART 1
LOT NUMBER	23
CONCESSION NUMBER	5
SURVEY USED FOR SITE PLAN	H.L. MELLISH (O.L.S.) DATED: APRIL 11TH, 2005
<b>ZONE STANDARDS/CLASSIFICATION</b>	
ZONE	WR4
ABUTTING LAKE NAME	LAKE JOSEPH
LAKE CATEGORY	CATEGORY 1
MIN LOT AREA	EX. A <sub>1</sub> = #VALUE! R2
MIN. LOT FRONTAGE	EX. A <sub>2</sub> = #VALUE! R2
MIN. DWELLING SIZE (SFA)	m2 = 0.00 R2
SLEEPING CABIN ALLOWED	YES
BOATPORT ALLOWED	FRONTAGE ≥ 30m YES
TWO STOREY BOATHOUSE ALLOWED	FRONTAGE BETWEEN 91.4m (300 ft) - 122m (400 ft) NO
	FRONTAGE OF 122m (400 ft.) OR MORE YES



LOT COVERAGE INFORMATION	PERMITTED COVERAGE	EXISTING COVERAGE	PROPOSED COVERAGE
LOT AREA (TOTAL LOT)	2,954.13 m <sup>2</sup> = 31,798.00 R2		
MAX. LOT COVERAGE PERCENTAGE (TOTAL LOT)	10%	EXISTING COTTAGE = 134.82 1,449.00	EXISTING COTTAGE = 134.82 1,449.00
MAX COVERAGE (TOTAL LOT)	295.41 m <sup>2</sup> = 3,179.80 R2	PROPOSED TWO STOREY... = 160.54 1,728.00	PROPOSED TWO STOREY... = 160.54 1,728.00
LOT AREA (WITHIN 60m OF SHORELINE)	2,954.13 m <sup>2</sup> = 31,797.99 R2		
MAX. LOT COVERAGE PERCENTAGE (WITHIN 60m OF SHORELINE)	10%	TOTAL = 285.15 3177.00	TOTAL = 323.12 3478
MAX COVERAGE (WITHIN 60m OF SHORELINE)	295.41 m <sup>2</sup> = 3,179.80 R2	LOT COVERAGE % = 9.99%	LOT COVERAGE % = 10.94%
LOT FRONTAGE	208.97 m = 685.58 ft		

SETBACKS/RESTRICTIONS (PRINCIPLE DWELLING)	PERMITTED	EXISTING	PROPOSED
FRONT YARD SETBACK	20.1 m = 66 ft	14.54 m = 47'-8 3/8" ft	14.54 m = 47'-8 3/8" ft
REAR YARD SETBACK	4.6 m = 15 ft	4.34 m = 14'-3" ft	UNCHANGED
INTERIOR YARD SETBACK	4.6 m = 15 ft	181.2 m = 595'-0" ft	157.38 m = 516'-3" ft
EXTERIOR YARD SETBACK	8.1 m = 30 ft	12.57 m = 11'-08" ft	11.08 m = 36'-4 1/4" ft
SHORELINE BUFFER OFFSET	15.2 m = 50 ft	14.54 m = 47'-8 3/8" ft	14.54 m = 47'-8 3/8" ft
MAX. HEIGHT (PRINCIPLE DWELLING)	10.7 m = 35 ft	8.38 m = 27'-6" ft	9.75 m = 32'-0" ft
MAX. HEIGHT (ACCESSORY BUILDING)	7.7 m = 25 ft		

DOCK RESTRICTIONS (CATEGORY 1 LAKE)	PERMITTED	EXISTING	PROPOSED
DOCK MAX. PROJECTION FROM LAND	20.1 m = 66 ft	18.51 m = 60'-7 3/8" ft	20.1 m = 66 ft
DOCK SIDE SETBACK	9.1 m = 30 ft	24.67 m = 80'-9 1/8" ft	27.55 m = 90'-5 1/8" ft
MAX. CUMULATIVE WIDTH	22.9 m = 75 ft	22.65 m = 74'-3 1/8" ft	20.1 m = 66 ft

BOATHOUSE/BOATPORT	PERMITTED	EXISTING	PROPOSED
1 STOREY BOATHOUSE ALLOWED	YES		-
2 STOREY BOATHOUSE (SUNDECK ONLY) ALLOWED	YES	NONE EXISTING	-
2 STOREY BOATHOUSE (SLEEPING CABIN) ALLOWED	YES		YES

MAX. PROJECTION FROM LAND	FIRST STOREY FROM HIGH WATER MARK	15.2 m = 50 ft	15.16 m = 49'-7 3/8" ft
	SECOND STOREY FROM HIGH WATER MARK	10.7 m = 35 ft	10.36 m = 34 ft
MAX. CUMULATIVE WIDTH			

	FIRST STOREY	15% = 33.43 109.69	14.75 m = 48.39 ft
	SECOND STOREY	13% = 27.17 89.13	14.75 m = 48.39 ft
	MAX. OF 22.9m / 75 ft FOR BOTH		SECOND STOREY CUMULATIVE WIDTH INCLUDES WIDTH OF...

MAX. SIZE OF HABITABLE FLOOR AREA ON SECOND STOREY IF...	160 SQ FT OF HABITABLE FLOOR AREA COVERED AREA OR ANY COMBINATION THEREOF	NONE EXISTING	
	FRONTAGE ≤ 122m (400 ft) AND ≥ 91.4m (300 ft)		
	680 SQ FT OF HABITABLE FLOOR AREA COVERED AREA OR ANY COMBINATION THEREOF PLUS A MAX. 23.3m (76 ft) OF COVERED...	NONE EXISTING	948 SQ FT HABITABLE FLOOR SPACE + 248 SQ FT COVERED AREA PROPOSED

MAX. SIDEYARD SETBACK	FIRST STOREY	9.1 m = 30 ft	29.65 m = 97'-28" ft
	SECOND STOREY WHERE ROOF IS SUNDECK	13.7 m = 45 ft	30.95 m = 101'-5 1/4" ft
MAX. HEIGHT		7.60 m = 25.00 ft	7.60 m = 25.00 ft

SUNDECK - ANY PORTION OF THE DOCK STRUCTURE EXTENDING INTO THE LAND ABOVE THE HIGHWATER MARK	PERMITTED	EXISTING	PROPOSED
MAX. PROJECTION INTO LAND FROM DOCK	3.10 m = 10 ft	2.84 m = 9'-3 1/8" ft	TO REMAIN

EXTRA INFORMATION
WITHIN THE FRONT YARD SETBACK, AN AREA OF LAND 15.2 m (50 ft) WIDE ABUTTING AND RUNNING PARALLEL TO THE HIGH WATER MARK SHALL CONTAIN A SHORELINE BUFFER. THIS PROVISION APPLIES TO ALL LOTS ON WHICH DEVELOPMENT TAKES PLACE WITHIN 60 m (200 ft) OF THE HIGH WATER MARK AFTER DECEMBER 21, 1998.

DEFINITIONS	
LOT COVERAGE	SHALL MEAN THAT PERCENTAGE OF AREA COVERED BY BUILDINGS AND STRUCTURES INCLUDING ACCESSORY BUILDINGS AND STRUCTURES ON THE LOT INCLUSIVE OF ANY SUCH AREA COVERED ON LANDS ADJACENT TO THE LOT IN A WIDE ZONE AND EXCLUDING NON-ROOFED STRUCTURES AND DOCKS. LOT COVERAGE SHALL BE CALCULATED USING THE EXTERIOR FACES OF THE EXTERIOR WALLS. IF THERE ARE NO WALLS, LOT COVERAGE SHALL BE CALCULATED USING THE EXTERIOR FACES OF THE SUPPORTING POSTS. WHERE ROOF OVERHANGS EXCEED 1.2m (4ft) THE PORTIONS EXCEEDING 1.2m (4ft) WILL BE INCLUDED IN LOT COVERAGE.
GRADE FINISHED	MEANS THE AVERAGE ELEVATION OF THE FINISHED SURFACE OF THE GROUND AT GROUND LEVEL MEASURED ON ANY SIDE OF A BUILDING OR STRUCTURE.

1. THESE DRAWINGS MUST BE CHECKED BY THE CUSTOMER OR CONTRACTOR. ANY ERRORS OR OMISSIONS MUST BE REPORTED IMMEDIATELY TO THE DESIGNER. NO PART OF THESE DRAWINGS IS TO BE USED FOR CONSTRUCTION WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER.

2. OWNER OR CONTRACTOR MUST CHECK AND VERIFY ALL SITE CONDITIONS BEFORE PROCEEDING WITH THE WORK.

3. ALL DIMENSIONS SHOWN ON THESE DRAWINGS MUST BE CHECKED AGAINST ALL OTHER PROJECT DRAWINGS. ALL DIMENSIONS MUST BE REPORTED TO THE CONSULTANT FOR REVIEW AND APPROVAL.

4. FOR CONSTRUCTION PURPOSES, USE ONLY THE LATEST APPROVED DIMENSIONS LABELLED FOR CONSTRUCTION.

5. DO NOT SCALE THE DRAWINGS.

6. DIMENSIONS ARE TO THE INSIDE FACE OF STUD AND OUTSIDE FACE OF EXCEPT WHERE SHOWN OTHERWISE.

**SBSG**  
ENGINEERING & DESIGN

Website: www.sbsg.ca  
Tel: 705.335.5455 Fax: 705.335.4455

PROJECT NAME:  
**UNCLE ARGYLE BOATHOUSE**

PROJECT ADDRESS:  
1291 PENINSULA ROAD, PORT CARLING, ON P0B 1J0

REVISION SCHEDULE				
No.	DESCRIPTION	ISSUED BY	ISSUED TO	DATE
1	ISSUED FOR INFO PERMIT	JAA	SFO	2023-12-07
2	ISSUED FOR DOCK PERMIT	JAA	TWN	2023-12-19
3	ISSUED FOR PERMIT	JAA	ALL	2024-07-20
4	ISSUED FOR AIR CONSULTATION MEETING	JAA	TWN	2024-01-10
5	ISSUED FOR MINOR VARIANCE APPROVAL	JAA	TWN	2023-03-07

TRUE NORTH:

Project Status:  
**ISSUED FOR PLANNING APPROVAL**

Seal:

Drawn By: J.A.  
Checked By: J.A.  
Date: Issue Date  
Scale: As Indicated

SHEET NAME:  
**PROPOSED SITE PLAN**

PROJECT #: 230476

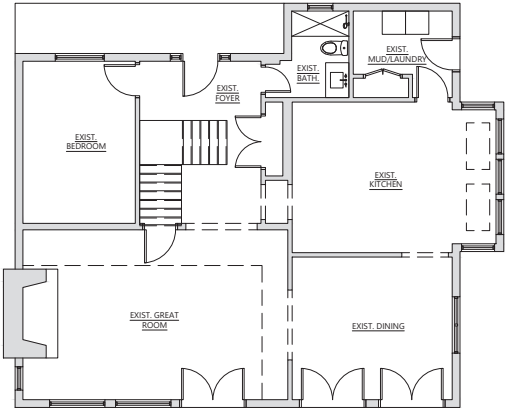
Revision #: 6

**A102**

# EXISTING FLOOR PLANS

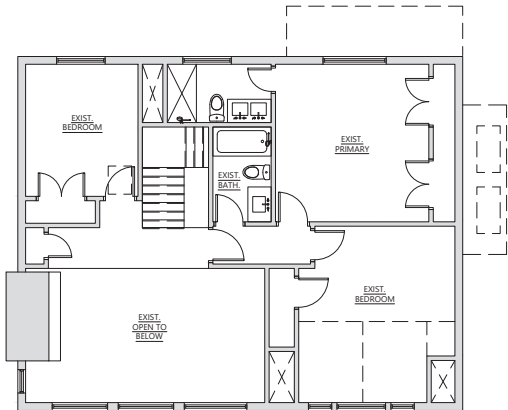
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Issuance	Date
ISSUED TO ENGINEER	2025-03-05
RE-ISSUED TO ENGINEER	2025-03-12
RE-ISSUED TO ENGINEER	2025-04-08

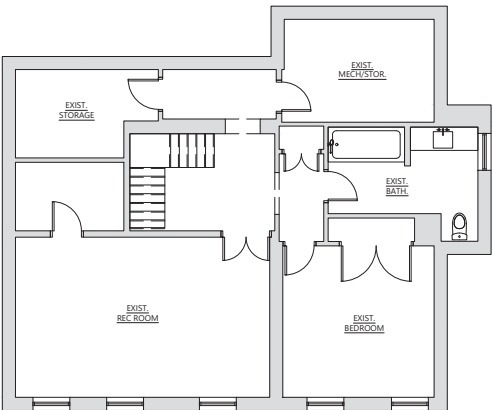


1 EXISTING PLANS - GROUND FLOOR  
ID1 SCALE: 3/32" = 1'-0"

NOT TO SCALE



2 EXISTING PLANS - SECOND FLOOR  
ID1 SCALE: 3/32" = 1'-0"



3 EXISTING PLANS - BASEMENT  
ID1 SCALE: 3/32" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

CASSIS  
DESIGN STUDIO

CASSIS DESIGN STUDIO  
20 MAIN STREET WEST  
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project  
PENINSULA ROAD  
COTTAGE

1291 PENINSULA RD  
PORT CARLING, ON

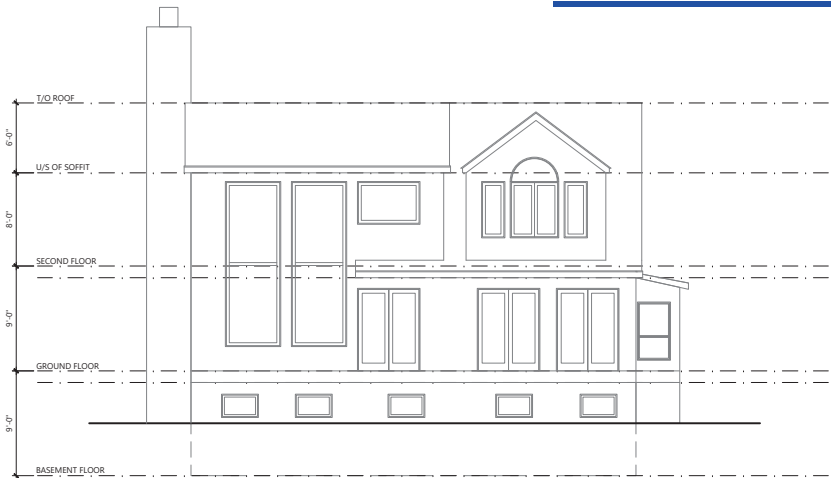
drawing  
EXISTING  
PLANS

project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025

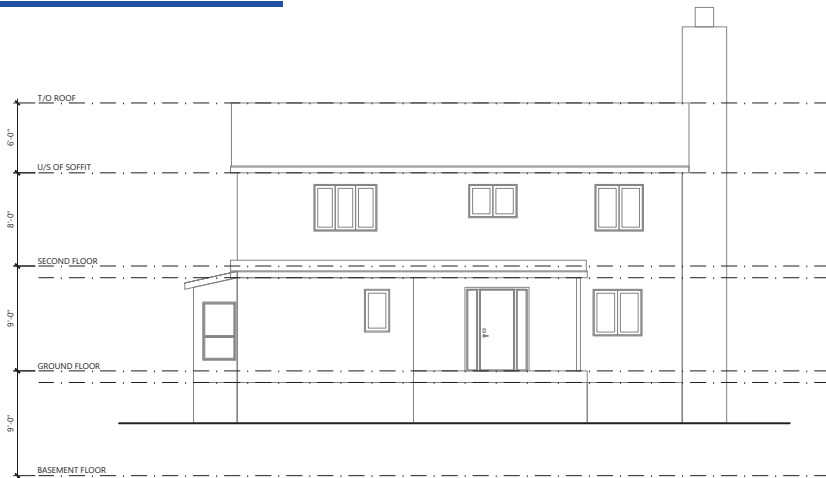
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ID1

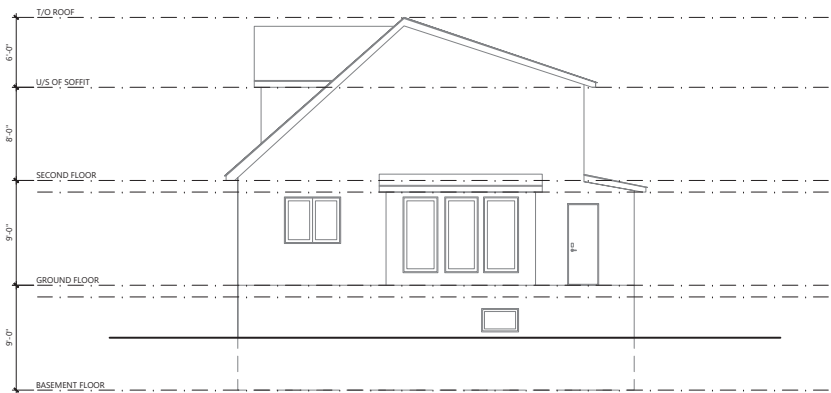
# EXISTING ELEVATIONS



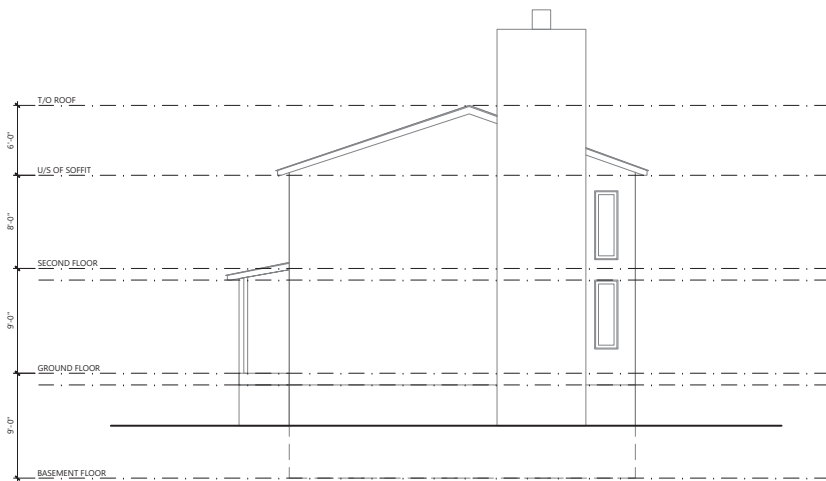
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ID2 SCALE: 3/32" = 1'-0"



2 EXISTING ELEVATIONS - REAR  
ID2 SCALE: 3/32" = 1'-0"



3 EXISTING ELEVATIONS - RIGHT SIDE  
ID2 SCALE: 3/32" = 1'-0"



4 EXISTING ELEVATIONS - LEFT SIDE  
ID2 SCALE: 3/32" = 1'-0"

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ISSUANCE	DATE
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RE-ISSUED TO ENGINEER	2025-03-12
RE-ISSUED TO ENGINEER	2025-04-08

NOT TO SCALE

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PROJECT  
PENINSULA ROAD  
COTTAGE

1291 PENINSULA RD  
PORT CARLING, ON

DRAWING  
EXISTING  
ELEVATIONS

PROJECT NO.	037
SCALE	AS NOTED
DRAWN BY	SE
CHECKED BY	MC
DATE	5.16.2025



ID2

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**IDS**

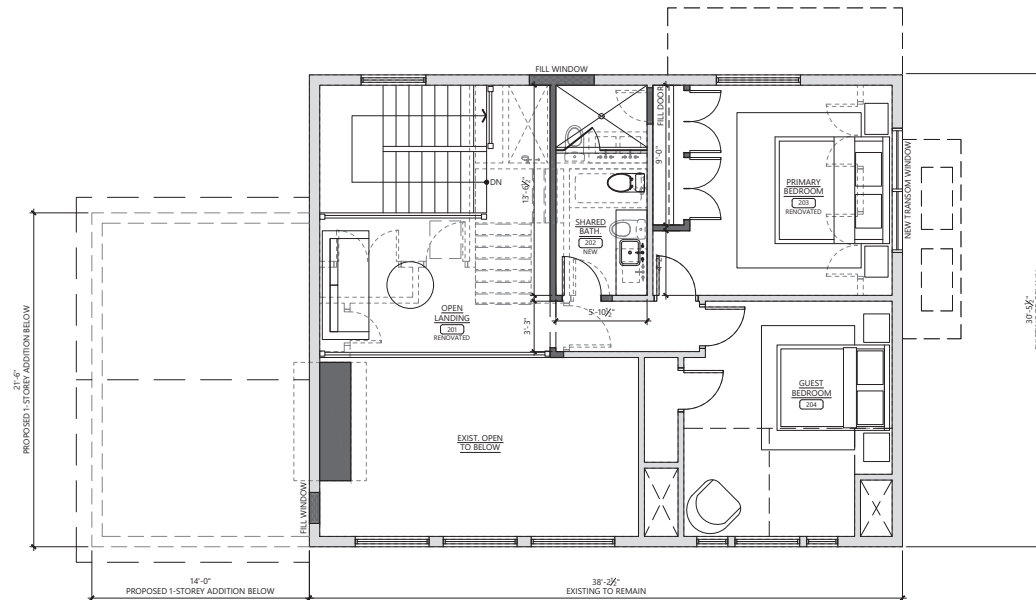
SCALE: 1/8" = 1'-0"

## PROPOSED FLOOR PLAN

Drawings must not be scaled. Contractor responsibility to check and verify all dimensions, specifications and drawings on site and report any discrepancies to Cassis Design Studio prior to proceeding with any of the work. Approval of all shop drawings by Cassis Design Studio required prior to fabrication. All drawings, specifications and related documents are the instruments of service and remain the property of Cassis Design Studio. All work is to be carried out in conformance with the Code and Bylaws of the authorities having jurisdiction.

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NOT TO SCALE



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project

# PENINSULA ROAD COTTAGE

1291 PENINSULA RD  
PORT CARLING, ON

CONCEPT PLAN  
SECOND FLOOR

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project no. 037

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AS NOTED

drawn by SF

checked by \_\_\_\_\_

MC  
date 5.16.2025

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ID4

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1

ID4

CONCEPT PLAN - SECOND FLOOR

SCALE: 1/8" = 1'-0"

FOR INFORMATIONAL PURPOSES ONLY

MC  
5.16.2025

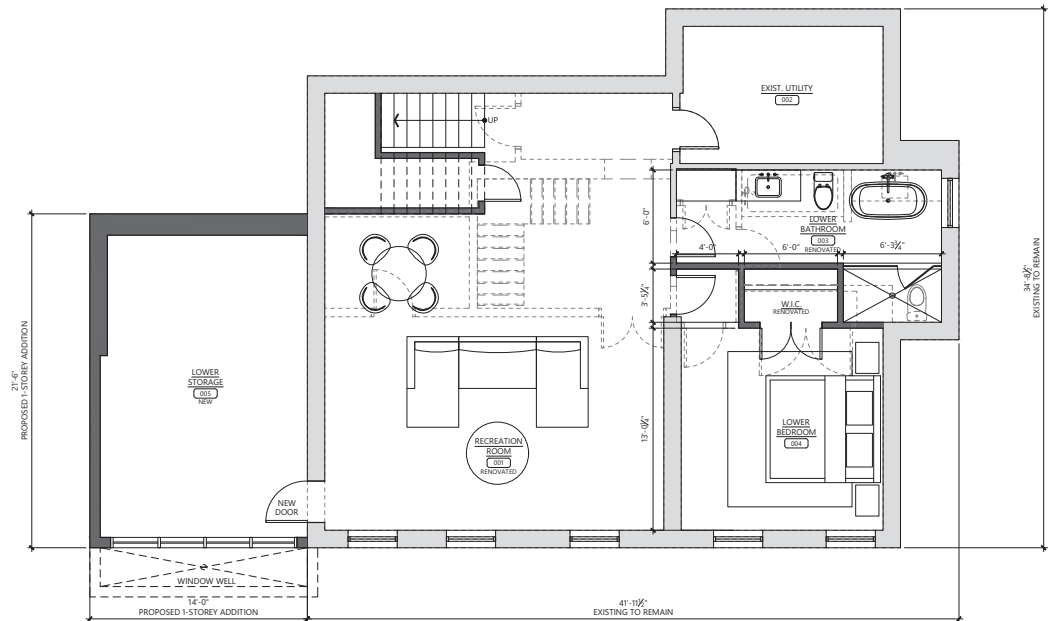
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# PROPOSED FLOOR PLAN

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RE-ISSUED TO ENGINEER	2025-03-12
RE-ISSUED TO ENGINEER	2025-04-08



NOT TO SCALE

**CASSIS**  
DESIGN STUDIO

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HUNTSVILLE, ONTARIO  
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project  
**PENINSULA ROAD  
COTTAGE**

1291 PENINSULA RD  
PORT CARLING, ON

drawing  
**CONCEPT PLAN  
BASEMENT**

project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025

drawing no.  
**ID5**

FOR INFORMATIONAL PURPOSES ONLY

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project

# PENINSULA ROAD COTTAGE

1291 PENINSULA RD  
PORT CARLING, ON

drawing  
CONCEPT ELEVATION  
FRONT

project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025

drawing no. ID6



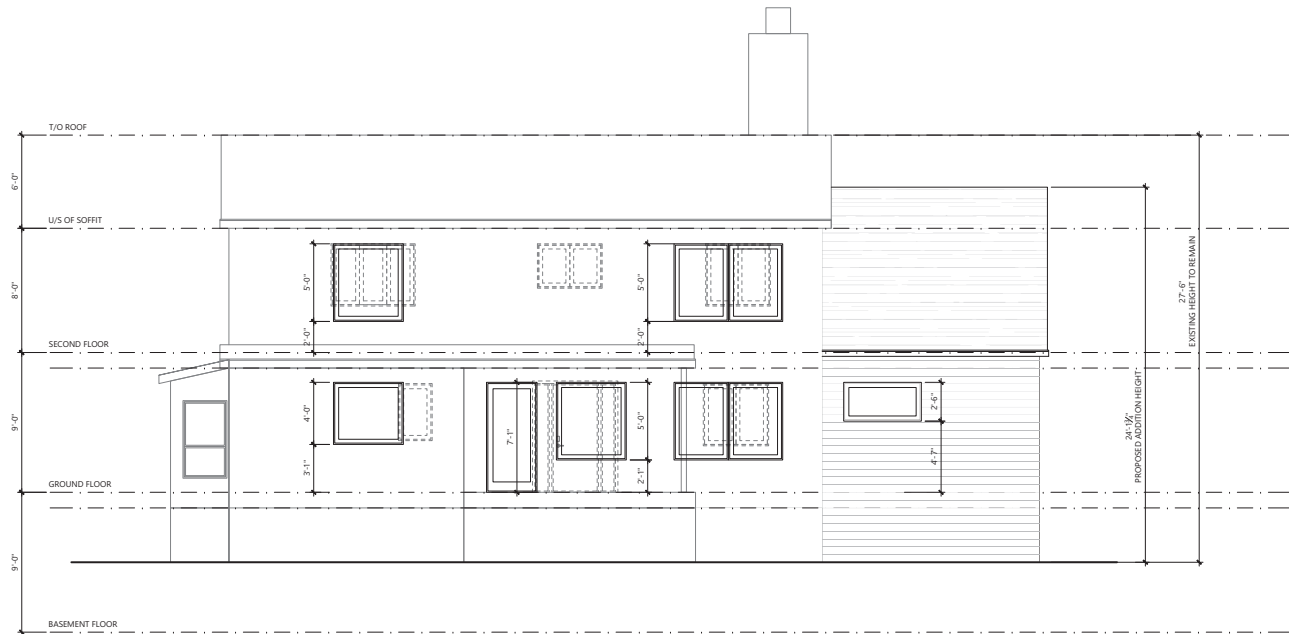
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1 CONCEPT ELEVATION - FRONT  
ID6 SCALE: 1/8" = 1'-0"

# PROPOSED ELEVATIONS

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**CASSIS**  
DESIGN STUDIO

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project  
**PENINSULA ROAD  
COTTAGE**

1291 PENINSULA RD  
PORT CARLING, ON

drawing  
**CONCEPT ELEVATION  
REAR**

project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025



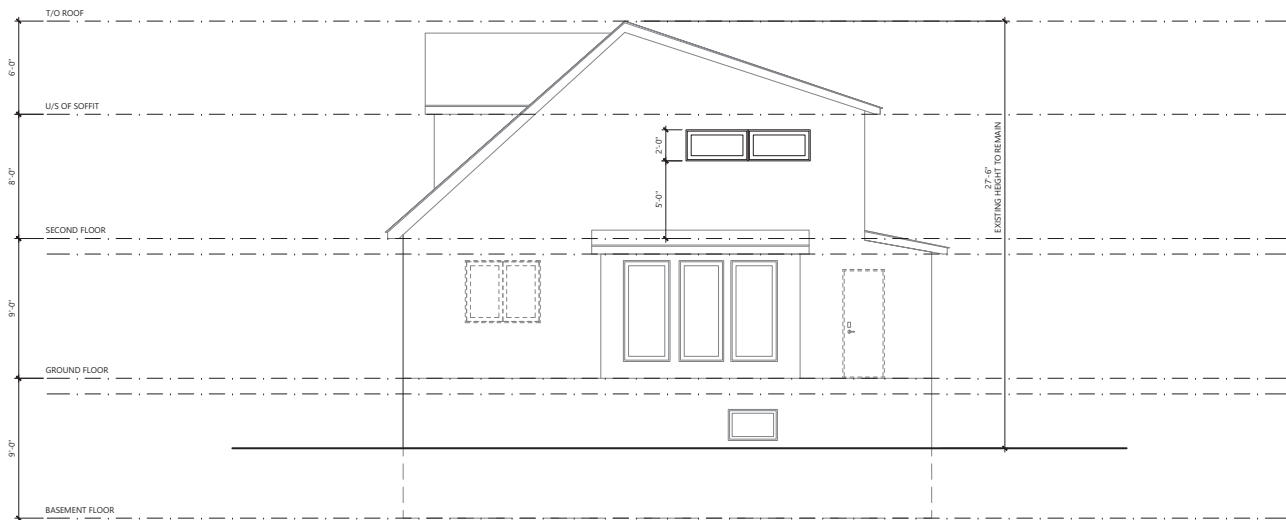
drawing no.  
**ID7**

FOR INFORMATIONAL PURPOSES ONLY

# PROPOSED ELEVATIONS

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ISSUED TO ENGINEER	2025-03-05
RE-ISSUED TO ENGINEER	2025-03-12
RE-ISSUED TO ENGINEER	2025-04-08



NOT TO SCALE

**CASSIS**  
DESIGN STUDIO

CASSIS DESIGN STUDIO  
20 MAIN STREET WEST  
HUNTSVILLE, ONTARIO  
7 0 5 7 8 8 4 7 9 2  
CASSISDESIGNSTUDIO.COM

project  
**PENINSULA ROAD  
COTTAGE**

1291 PENINSULA RD  
PORT CARLING, ON

drawing  
**CONCEPT ELEVATION  
RIGHT**

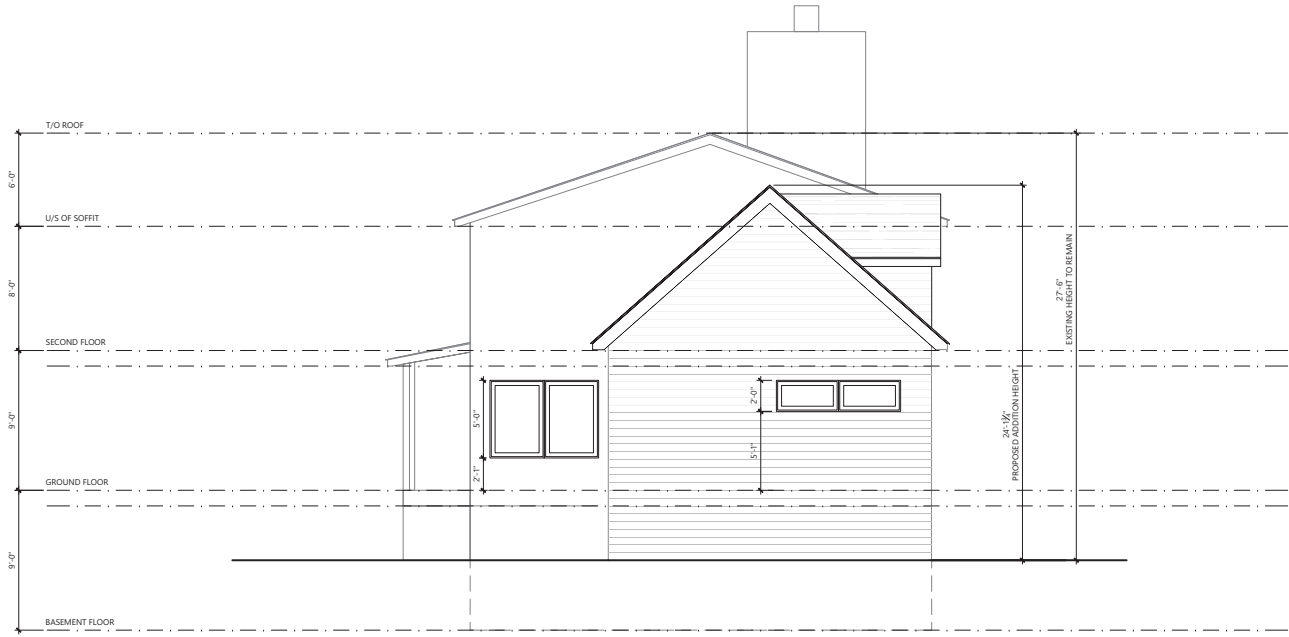
project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025
drawing no.	ID8

FOR INFORMATIONAL PURPOSES ONLY

# PROPOSED ELEVATIONS

Drawings must not be scaled. Contractor responsibility to check and verify all dimensions, specifications and drawings on site and report any discrepancies to Cassis Design Studio prior to proceeding with any of the work. Approval of all shop drawings by Cassis Design Studio required prior to fabrication. All drawings, specifications and related documents are the instruments of service and remain the property of Cassis Design Studio. All work is to be carried out in conformance with the Code and Bylaws of the authorities having jurisdiction.

Issuance	Date
ISSUED TO ENGINEER	2025-03-05
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RE-ISSUED TO ENGINEER	2025-04-08



NOT TO SCALE

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project  
PENINSULA ROAD  
COTTAGE

1291 PENINSULA RD  
PORT CARLING, ON

drawing  
CONCEPT ELEVATION  
LEFT

project no.	037
scale	AS NOTED
drawn by	SE
checked by	MC
date	5.16.2025

drawing no.  
ID9

FOR INFORMATIONAL PURPOSES ONLY