

COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: A-70/25

Roll No.: 9-15-056-07

Owners:	Michael Lapalme & Robyn Jury Lapalme, 81 Fontevielle Crescent, Woodbridge, ON, L4H 3X1		
Address & Description:	6 Island M69A Part 8, Plan 35R-3100, Todern Island, (Monck)		
Zoning:	Waterfront Residential (WR5-7)	Lake Muskoka (Category 1 Lake)	Schedule: 37
Hearing Date: Monday, November, 10th, 2025 at 9:00 a.m.			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

The applicants propose to construct a sauna, a dock and single storey boathouse with a roof top sundeck. The applicants also propose to recognize an as-built propane tank. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	4.1.3.6 & 4.1.3.7	Lot Coverage Within 200 ft. of a HWM	10% (3,885 sq. ft.)	10.6% (4,137 sq. ft.)	0.6% (252 sq. ft.)	Construct a Single Storey Boathouse with Rooftop Sundeck & Sauna
B	4.1.3	Minimum Required Front Yard Setback	66 ft.	18 ft.	48 ft.	Recognize an As- Built



						Propane Tank
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A key map of the subject property and the applicants' site plan and any drawings are included in this notice.

KEY MAP, A-70/25 (LAPALME)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: November 6th.

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled hearing.

Watch the Hearing Online



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN HEARING: If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

DECISION & APPEALS: If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to planning@muskokalakes.ca. Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

PLEASE NOTE: The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes
this 28th day of October, 2025.

Chelsea Ward, Secretary-Treasurer
Committee of Adjustment
planning@muskokalakes.ca



6 ISLAND M69A (TODERN ISLAND)
TOWNSHIP OF MUSKOKA LAKES
Parcel: 445309001505607

ZONE REQUIREMENTS		
Zoning Description	WR5-7	
Lot Area	99,050 sq ft	
Lot Area (Within 60m)	38,850 sq ft	
Lot Frontage	199'	
Maximum Lot Coverage % (Total Lot)	10% (9,905 SQ FT)	
Maximum Lot Coverage % (Within 60m)	10% (3,885 SQ FT)	
YARD SETBACKS (PROPOSED BUILDING)		
	FEET	METERS
Side Setback Dock & 1 Stry, B.H (Min):	30	9.1
Width Dock (25% Max)	49.75	4.62
Width Boathouse (16% Max)	31.84	2.95
Max Boathouse Legnth	50	15.2
BUILDING HEIGHT (PROPOSED BUILDING)		
Height (Max):	16	4.9

AREAS OF EXISTING STRUCTURES		
	SQFT.	SQM.
EXISTING COTTAGE & ROOF AREAS	2,737	254
EXISTING DOCK (TO DEMOLISH)	864	80.26
EXISTING PRIVY	16.9	1.57
EXISTING PROPANE	77	7.15

AREA OF PROPOSED STRUCTURES		
	SQFT.	SQM.
Boathouse	1300	120
Sauna	100	9.2

PROPOSED LOT COVERAGE CALCULATIONS			
	SQFT	SQM	%
PROPOSED TOTAL LOT	4,231	393.07	4.27
PROPOSED WITHIN 60M	4,214	391.49	10.84

EXISTING LOT COVERAGE CALCULATIONS			
	SQFT	SQM	%
EXISTING TOTAL LOT	2,831	263	2.85
EXISTING WITHIN 60M	2,814	261.42	7.24

SITE PLAN CONTROL & CONSERVATION
A separate Site plan control application will be required for this site due to the WATERFRONT RESIDENTIAL designation.

DEFINITIONS
1. HEIGHT Shall mean, when used in reference to a building or structure the vertical distance between the lowest finished ground surface at the exterior of the building and the highest point of the roof; or, in the case of a boathouse or sun shelter, the vertical distance between the top of the dock and the highest point of the roof; or in the case of a sundeck, the vertical distance between the lowest finished ground surface adjacent to the perimeter of the sundeck. In the case where a sundeck is joined to a building or other structure, the height of the sundeck and the height of the building or structure shall be measured separately, and each shall comply with the provisions of this Bylaw.
2. LOT COVERAGE Shall mean that percentage of area covered by buildings and structures including accessory buildings and structures on the lot inclusive of any such area covered on lands adjacent to the lot in a WOS Zone and excluding non-rooted structures and docks. Lot coverage shall be calculated using the exterior faces of the exterior walls. If there are no walls, lot coverage shall be calculated using the exterior faces of the supporting posts. Where roof overhangs exceed 1.2 m (4 ft.) the portions exceeding 1.2 m (4 ft.) will be included in lot coverage

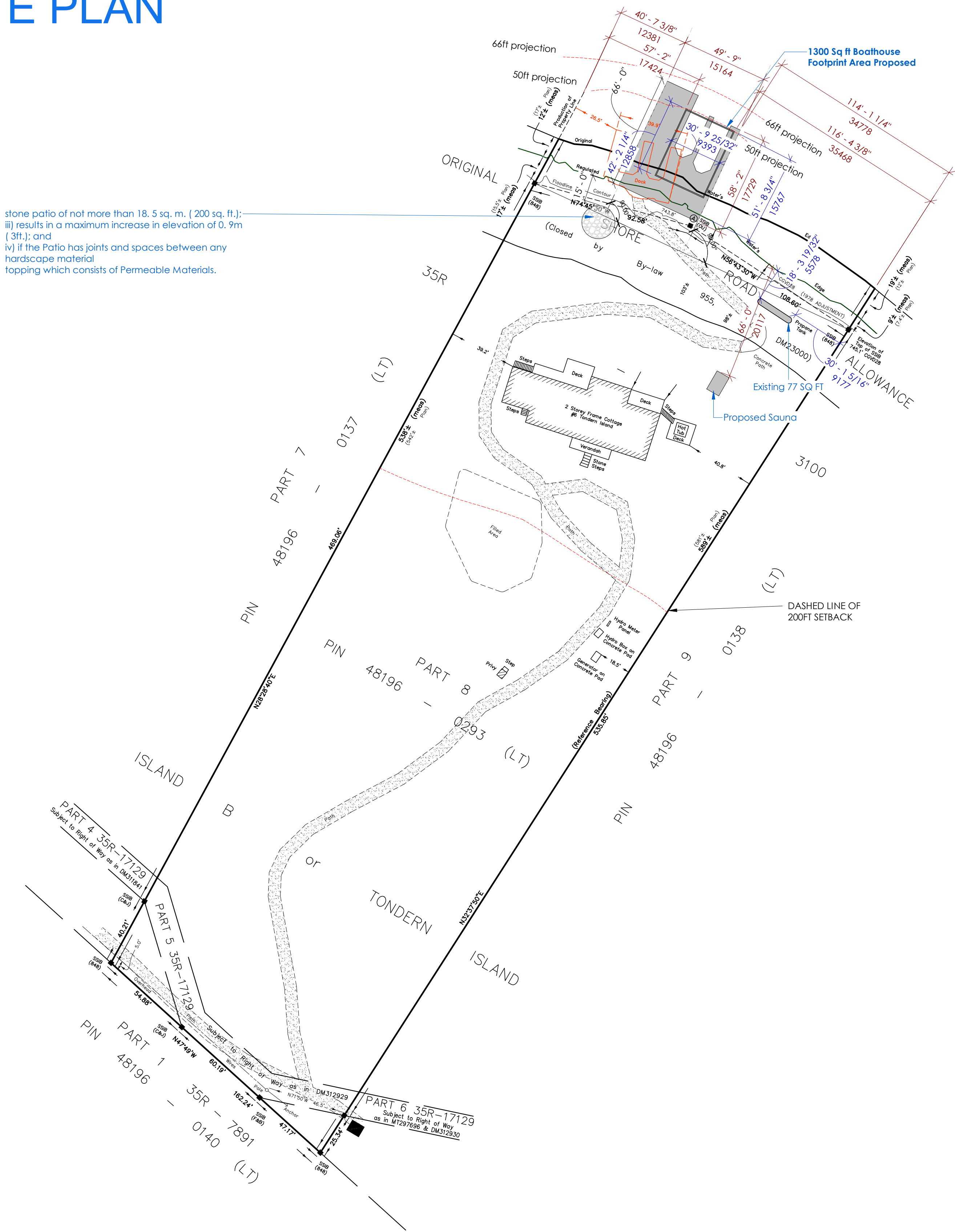
SITE PLAN NOTES
- All construction activities are restricted from the shoreline buffer. All native tree, shrub and grass species shall be maintained. All new plantings shall be maintained and preserved or replanted in the event of damage or deterioration. - All dimensions on site plan are listed in imperial unless otherwise noted. - The owner agrees to preserve all natural vegetation and healthy trees and any natural water courses. All vegetation between the dwelling and the high water mark shall remain in its natural state. - All tree removal and grading/filling must comply with the tree preservation and site alteration by-laws. - All site drainage shall be slope away from proposed construction by a minimum of 2% - All construction activities are restricted from the shoreline buffer. - Install silt fencing during the construction and development period. - Silt fencing shall be constructed of heavy material to prevent sediment runoff and to protect and prevent the land from soil erosion and the creation of sedimentation into nearby waterbodies. - The fence shall be properly trenched in to the ground. Fence must be maintained in good working order, inspected regularly and repaired as needed. - All external lighting shall be dark sky by-law compliant.

LEGEND OF SITE COMPONENTS	
●HP	= Hydro Pole
OH	= Over Head Wires
EX.	= Existing
TBD	= To Be Demolished
●	= Existing Tree
●	= Proposed Tree
□	= Ex. Structure
□	= Prop. Structure
□	= Prop. Structure
□	= Road/Driveway
□	= Pr. Planting Bed
□	= Ex. Demolished Structure
---	= Property Line
---	= Setback Line
---	= Waters Edge Line
---	= Frontage Line
---	= Utility Line
○	= Generic Fence Line
□	= Wood Fence Line

SILT FENCE INSTALLATION
- Install silt fencing during the construction and development period to prevent runoff and to protect the land from soil erosion. - All silt fencing shall be constructed of heavy material and be put in place prior to any site alteration or construction. - The fence shall be properly trenched in to the ground. - Fence must be maintained in good working order, inspected regularly and repaired as needed. - The fencing should not be removed until all works have been completed. - Mark out the path for the silt fence, ensure path encloses the area of construction, while providing adequate construction allowance for materials and site workers. - At the proposed silt fence location, excavate a v-shaped trench, a minimum of 8" below grade. Install silt fencing within the excavation. Stakes to be secured into the trench at approx. 8' o.c. - Backfill the trench and tamp the soil to ensure silt fence stability. - Inspect and maintain the silt fence to ensure soil erosion is being controlled.

NOTES
- Existing driveway to be used as Construction Access. Following construction, driveway to be reinstated for use. Any disturbed areas as a result of construction are to be renaturalized. - Any pathways constructed within the shoreline buffer, shall be max. 6' wide. - The path shall meander and be constructed of permeable substances. - No trees or riparian vegetation shall be removed. - Hardscape made of flagstone must be Dry Laid, placed on a bed of gravel and sand, any gaps between flagstone shall consist of permeable material such as pebbles, sand, mulch, or ground cover plantings. - All native trees, shrubs and grass species shall be maintained within 50 feet of the shoreline. Tree removal and site alteration shall comply with the Township's Tree Conservation and Site Alteration By-laws. - All proposed plantings shall be native species. - Coniferous trees shall be a min. 6 ft. in height. - Deciduous trees shall have a min. 1.5" caliper at chest height.

SITE PLAN



1 A_Site Plan
1" = 40'-0"

NOT TO SCALE

Spencer Douglas

PLANNING ■ DESIGN

No.	Description	Date

SHEET LIST

A-000	Cover Page
A-001	Site Plan & Lot Statistics
A-002	Notes & Legends
A-102	Main Floor Plan
A-103	Roof Plan
A-200	Elevations
A-400	Architectural Details
S-102	Main Floor Plan - Walls & Headers
S-102.1	Main Floor Plan - Floors & Beams
S-104	Roof Plan
S-200	Steel Schematic
S-300	Sections & Details
S-301	Sections & Details

Design Criteria:

Ground Snow Load (Ss):	3.1kPa
Associated Rain Load (Sr):	0.4 kPa
Specified Snow Load:	2.105 kPa
Base Wind Pressure (q/150):	0.4kPa

Client Name	LaPalme
Address	6 Island M69a (Tondern Island) Township of Muskoka Lakes
Engineer Seal	

Designer	The undersigned has reviewed and takes responsibility for this design, and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.
QUALIFICATIONS INFORMATION	Required unless design is exempt under 2.17.5.1 of the building code.

NAME	SIGNATURE	BCIN
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REGISTRATION INFORMATION	Required unless design is exempt under 2.17.4.1 of the building code.
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Spencer Douglas LTD	117413
FIRM NAME	FIRM BCIN

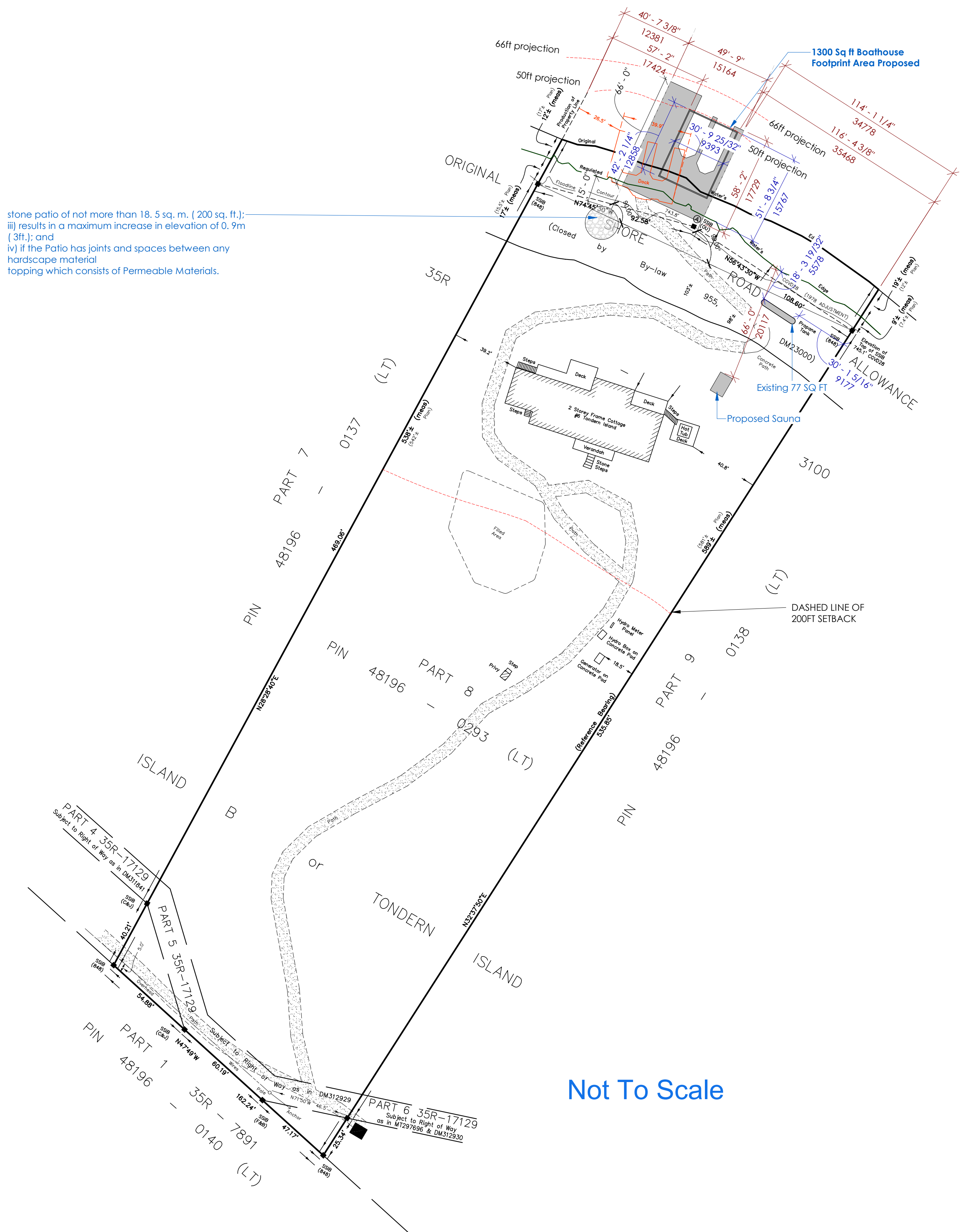
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Project Number	SDYY-MM##
Date	8/28/2025 12:57:47 PM
Drawn By	XX
Checked By	XX

A-001

Scale	As indicated
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SITE PLAN - ENLARGED



ELEVATION DRAWINGS

Spencer Douglas

PLANNING ■ DESIGN

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Spencer Douglas LTD	117413
FIRM NAME	FIRM BCIN

Sheet Name	Elevations
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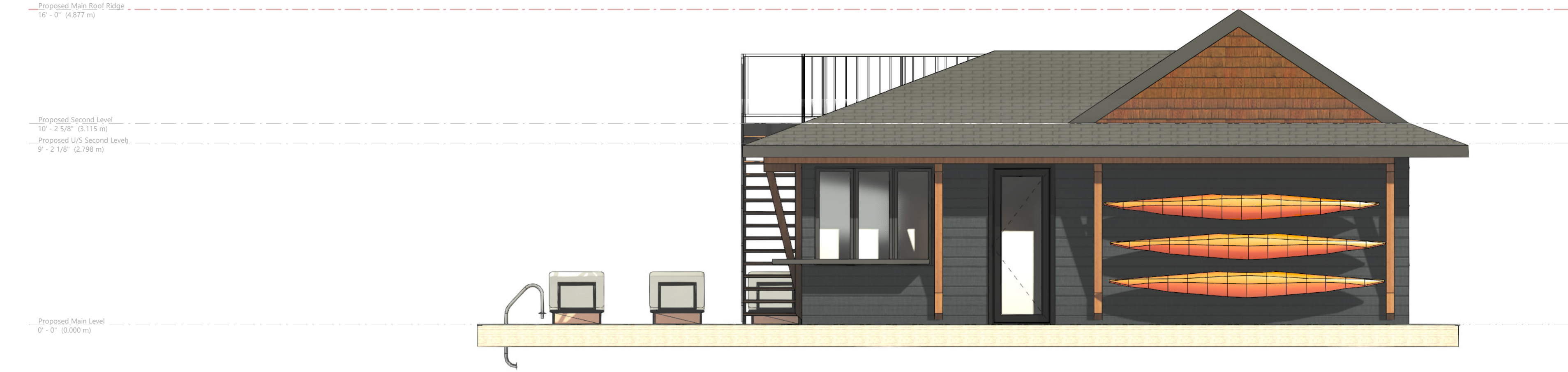
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Checked By	XX

A-200

Scale	1/4" = 1'-0"
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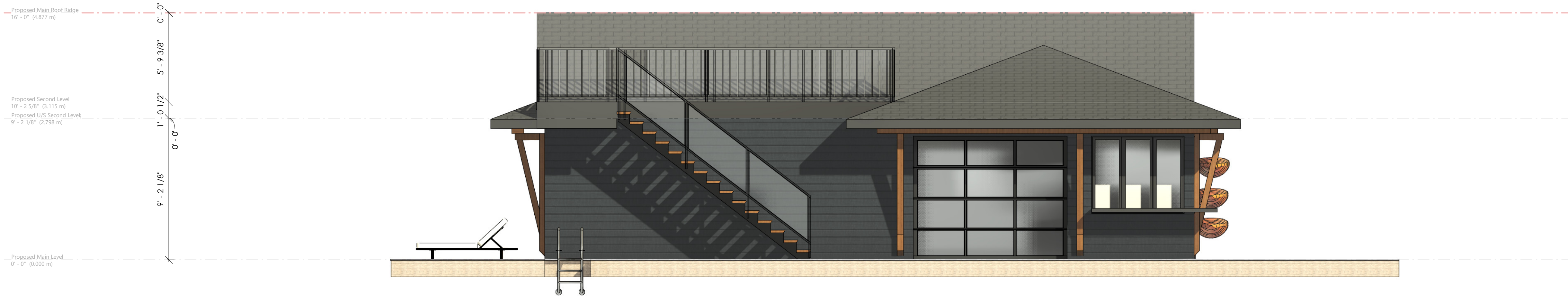
1 Architectural Front Elevation
1/4" = 1'-0"



2 Architectural Rear Elevation
1/4" = 1'-0"



3 Architectural Left Elevation
1/4" = 1'-0"

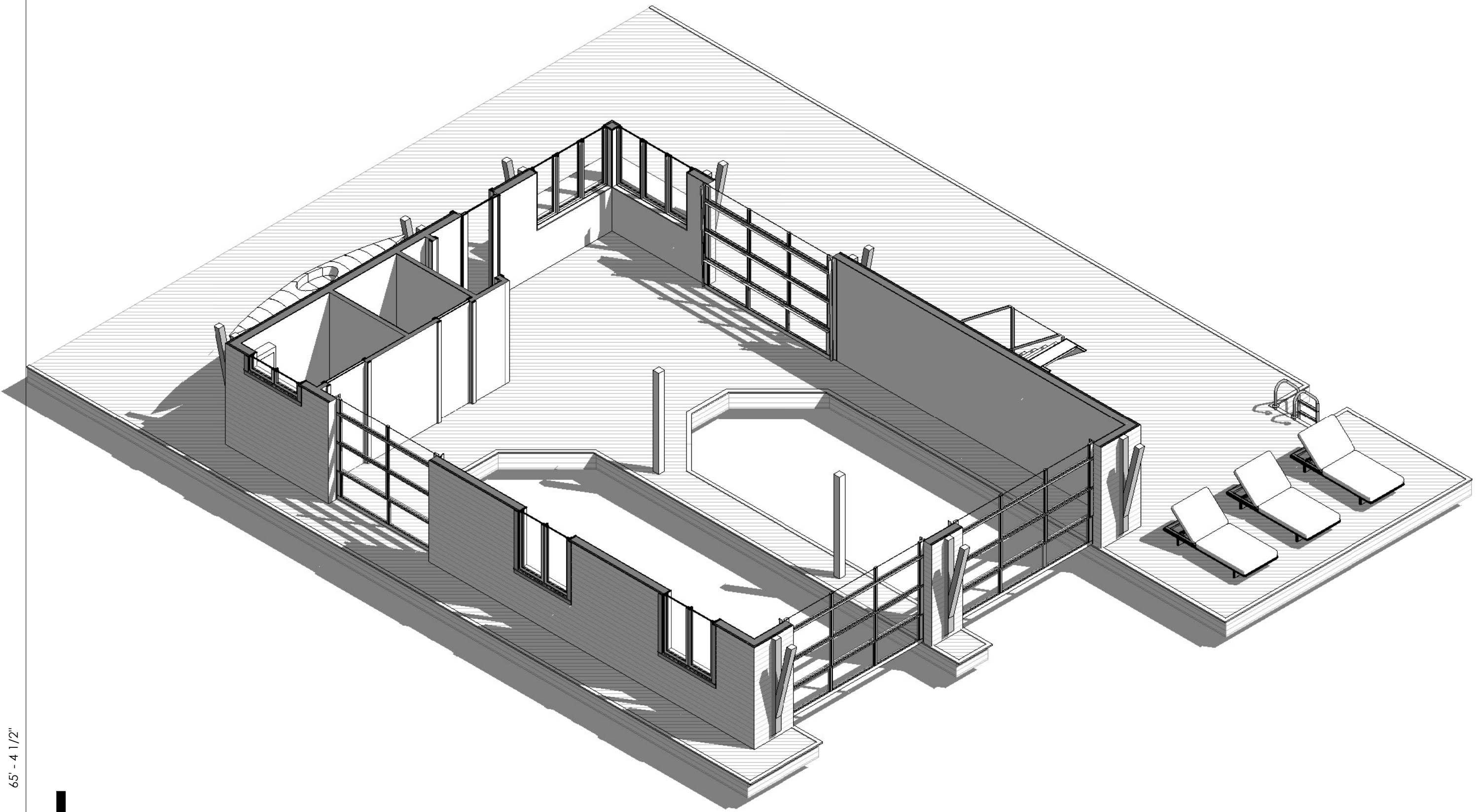
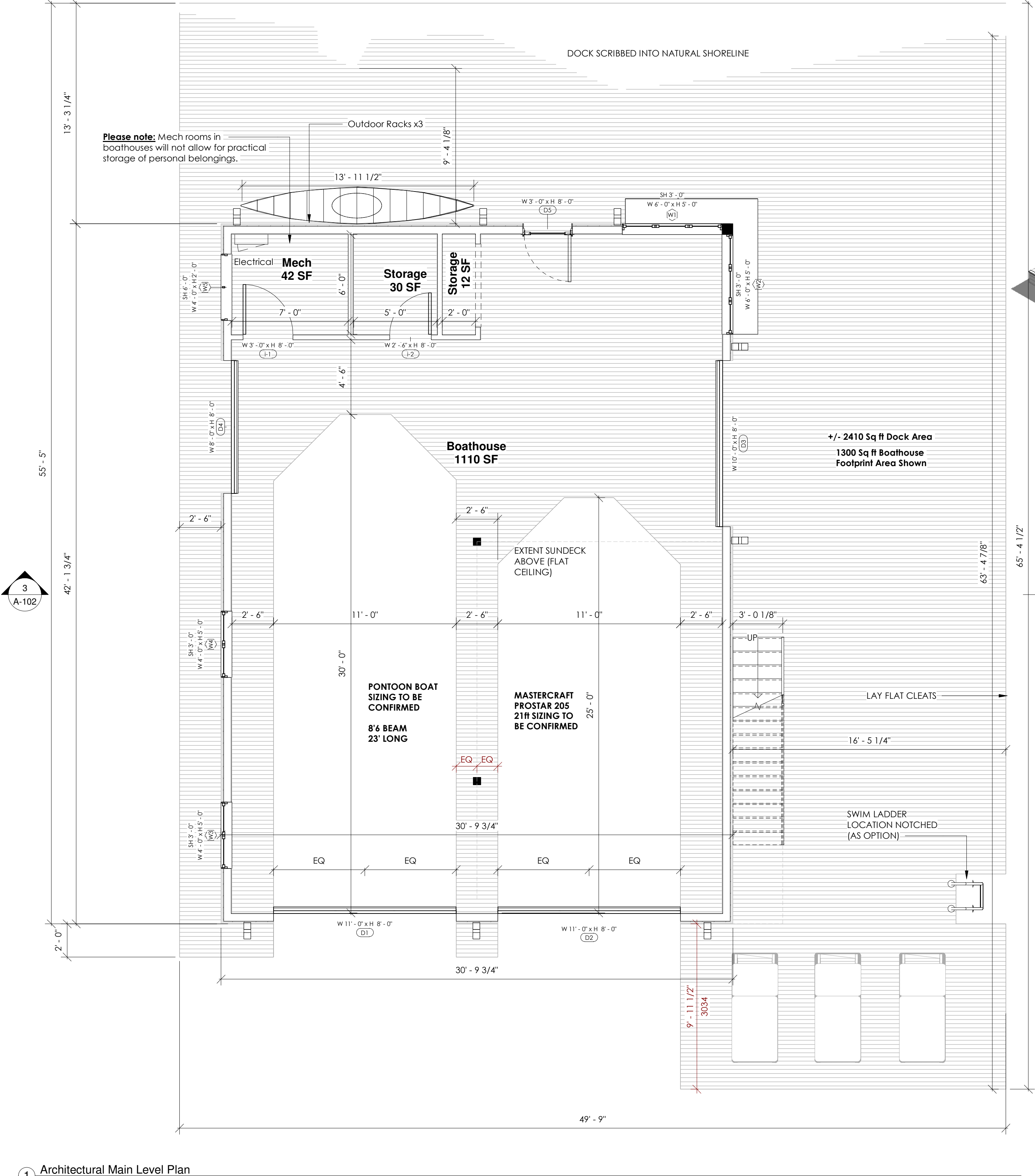


4 Architectural Right Elevation
1/4" = 1'-0"

Not To Scale

For Informational
Purposes Only

MAIN FLOOR PLAN

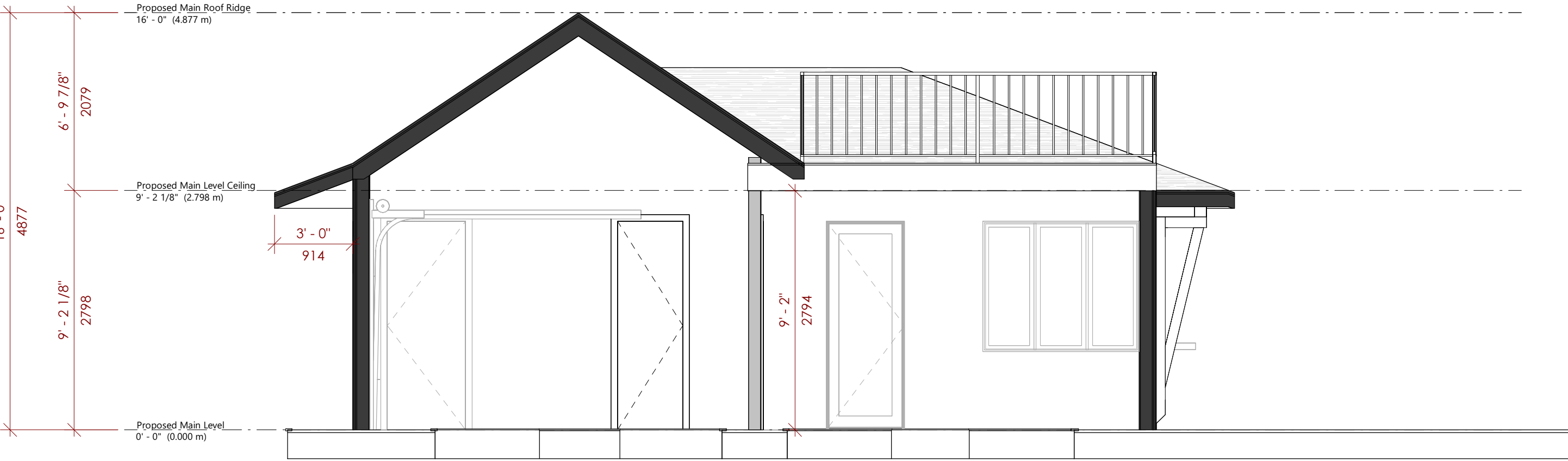


Not To Scale
For Informational Purposes Only

1 Architectural Main Level Plan
1/4" = 1'-0"

Door Schedule - Proposed Main Level				
Contractor to refer to window/door shop drawings for detailed sizing and rough stud openings				
Mark	Level	Description	Width	Height
Exterior				
D1	Proposed Main Level	2-1/8" Thick Aluminum Sectional Door	132"	96"
D2	Proposed Main Level	2-1/8" Thick Aluminum Sectional Door	132"	96"
D3	Proposed Main Level	2-1/8" Thick Aluminum Sectional Door	120"	96"
D4	T/O Main Level	2-1/8" Thick Aluminum Sectional Door	96"	96"
D5	Proposed Main Level	In-Swing Patio Door	36"	96"
Interior				
i-1	Proposed Main Level	Single Swing Interior Door	36"	96"
i-2	Proposed Main Level	Single Swing Interior Door	30"	96"
O1	Proposed Main Level	Unframed Opening	60"	96"

Window Schedule - Proposed Main Level						
Contractor to refer to window/door shop drawings for detailed sizing and rough stud openings. Contractor to refer to elevations for window type and operation.						
Mark	Level	Width	Height	Sill Height	Head Height	
W1	Proposed Main Level	72"	60"	3'-0"	8'-0"	
W2	Proposed Main Level	72"	60"	3'-0"	8'-0"	
W3	Proposed Main Level	48"	60"	3'-0"	8'-0"	
W4	Proposed Main Level	48"	60"	3'-0"	8'-0"	
W5	T/O Main Level	48"	24"	6'-0"	8'-0"	
WT11	Proposed Second Level	60"	40"	0'-6 3/8"	3'-10 3/8"	
WT12	Proposed Second Level	60"	40"	0'-6 1/2"	3'-10 1/2"	



3 Section 1
1/4" = 1'-0"

Spencer Douglas

PLANNING ■ DESIGN

No.	Description	Date

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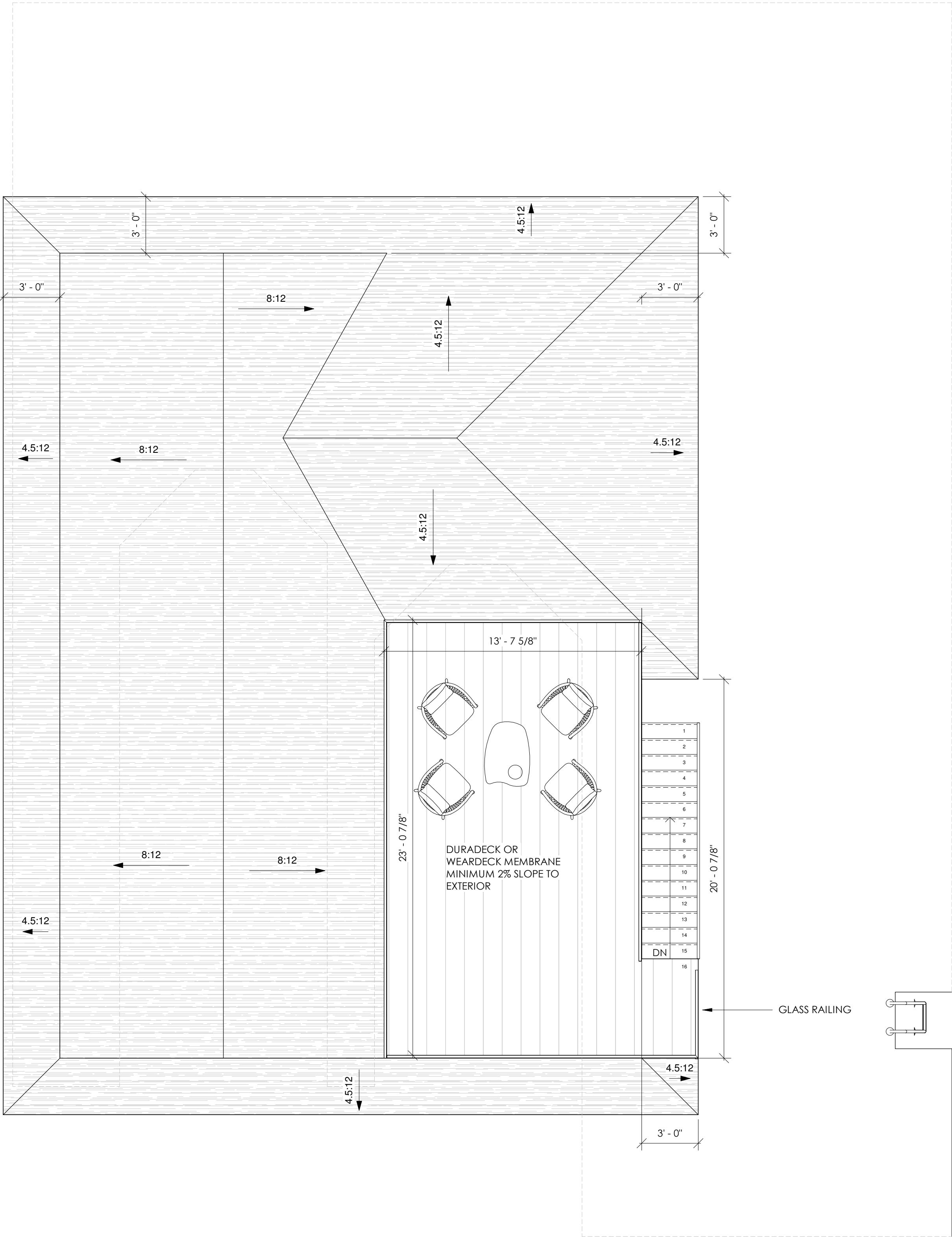
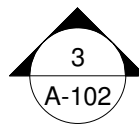
Spencer Douglas LTD	117413
FIRM NAME	FIRM BCIN

Sheet Name	Main Floor Plan
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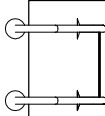
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Checked By	XX

A-102	1/4" = 1'-0"
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ROOF PLAN



GLASS RAILING



Not To Scale
For Informational Purposes Only

No.	Description	Date

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NAME	SIGNATURE BCIN

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Spencer Douglas LTD	117413
FIRM NAME	FIRM BCIN

Sheet Name	Roof Plan
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A-103	
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