

PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Consent and Amendment to Zoning By-law 2014-14 pursuant to Sections 53 and 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: B/34/35/25/ML & ZBA-21/25

Roll No.: 9-1-008

By-law: To Be Assigned

Owner:	Luke Pattman
Address	1475 South Monck Drive
Description:	Part of Lots 6 and 7, Concession 6, Parts 1 and 2, Plan 35R-25782, (Monck)
Zoning:	Open Space – Private (OS2), Waterfront Residential – Remote Lakes (WR8), & Environmental Protection (EP1) Schedule: 39 Lake: Unnamed Lake (Monck) (commonly referred to as Blanchard Lake or Mud Lake)
Meeting Date: Thursday, February 12th, 2026, at 9:00 a.m.	



Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

Consent/Severance Applications B/34/35/25/ML have been submitted to create two new lots (Severed Lots #1 and #2) fronting onto South Monck Drive. The Retained Lot and the Severed Lots are currently vacant. No buildings or structures are proposed at this time; however, compliant development would be permitted in the future if the applications are approved.

A concurrent Zoning By-law Amendment Application (ZBA-21/25) has been submitted to permit an exemption from the minimum lot area requirement as stipulated in site-specific By-law 2018-53, being 96 acres. The Retained Lot is proposed to be 8.9 acres in size; Severed Lot #1 is proposed to be 44.7 acres in size; and Severed Lot #2 is proposed to be 44.7 acres in size.

The subject property formed the Retained Lot in Consent/Severance Application B/87/88/89/90/16/ML. The application was submitted to create four additional lots along with a grant of rights-of-way and easements. Site-specific By-law 2018-053 was approved by Council in July 2018 to fulfill a number of conditions of consent for Consent/Severance Applications



Notice of Public Meeting
B/34/35/25/ML, ZBA-21/25, Pattman

B/87/88/89/90/16/ML. By-law 2018-053 includes a minimum lot frontage requirement of 650 feet and a minimum lot area requirement of 96 acres for the subject lot.

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	Site-Specific By-law 2018-53, Section 1. ii)	Minimum Lot Area (Severed Lot #1)	96 ac.	44.7 ac.	51.5 ac.	Create Two New Lots (Severed Lot #1 and Severed Lot #2)
B		Minimum Lot Area (Severed Lot #2)		44.5 ac.	51.5 ac.	
C		Minimum Lot Area (Retained Lot)		8.9 ac.	87.1 ac.	

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156. **Please quote the file number noted above.**

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **February 5, 2026.**

Please note that comments can still be submitted after the agenda has been published. Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating, please visit www.muskokalakes.ca/speaking-at-a-meeting

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

NOTICE OF PASSING & DECISION: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent or zoning by-law amendment, you must submit a written request to the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

ZONING AMENDMENT: If a person or public body would otherwise have an ability to appeal the decision of Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.



CONSENT: No one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of Council in respect of the proposed consent. If a person or public body has the ability to appeal the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent to the Ontario Land Tribunal, but does not make written submissions to the Council of the Township of Muskoka Lakes before it gives or refuses to give a provisional consent, the Tribunal may dismiss the appeal.

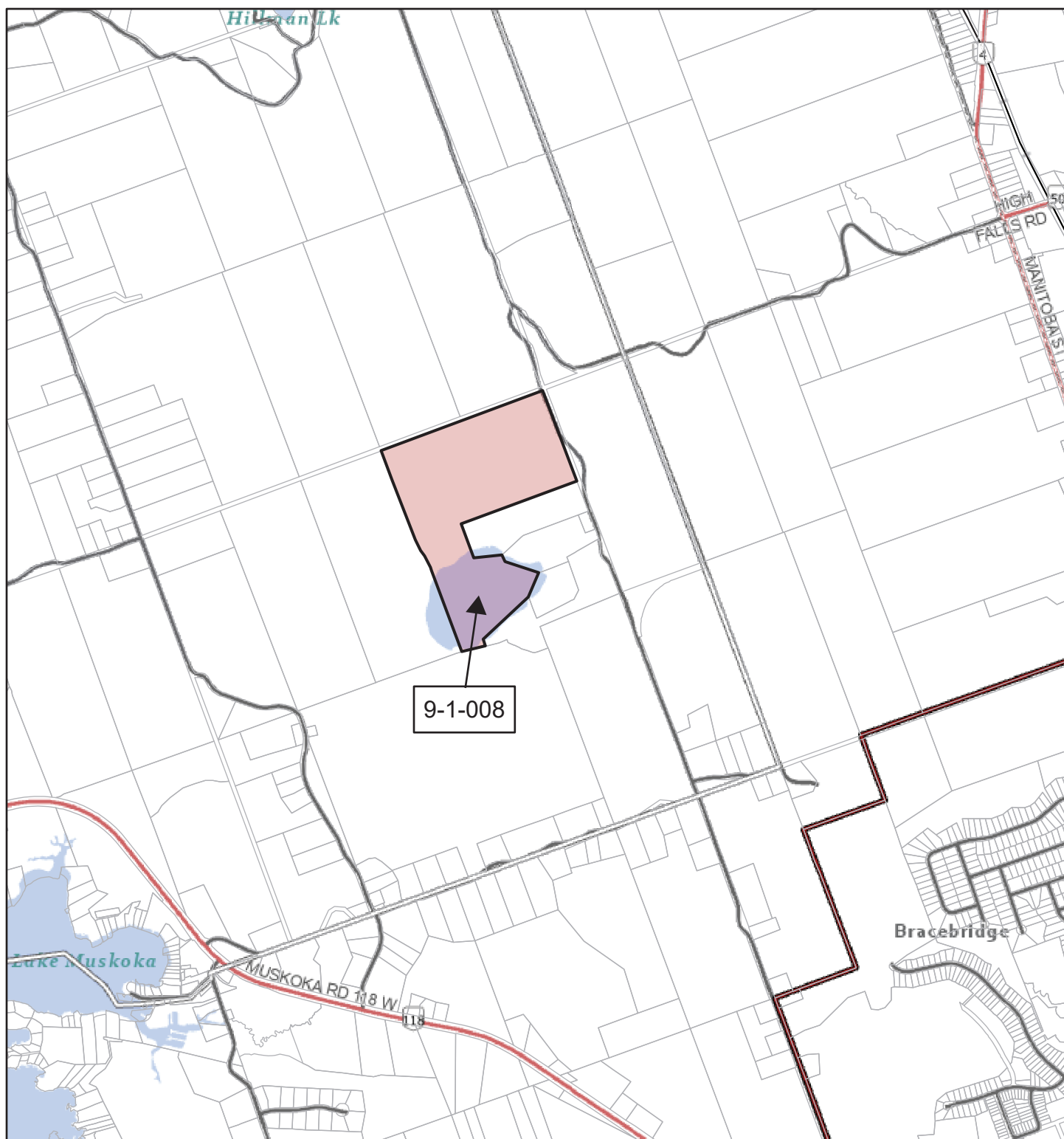
Notwithstanding the above, subsections 34(19) and 53(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 14th day of January, 2026.

Crystal Best-Sararas, Clerk
Corporation of the Township of Muskoka Lakes



KEY MAP, B/34/35/25/ML, ZBA-21/25 (PATTMAN)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- Parcel: Assessment
- District Municipality
- Area Municipality
- Geographic Township

- Settlement Areas**
- Urban Centre
- Road Network**
- District
- Township

- Waterbody
- Major Lake
- Canada_Hillshade
- World_Hillshade



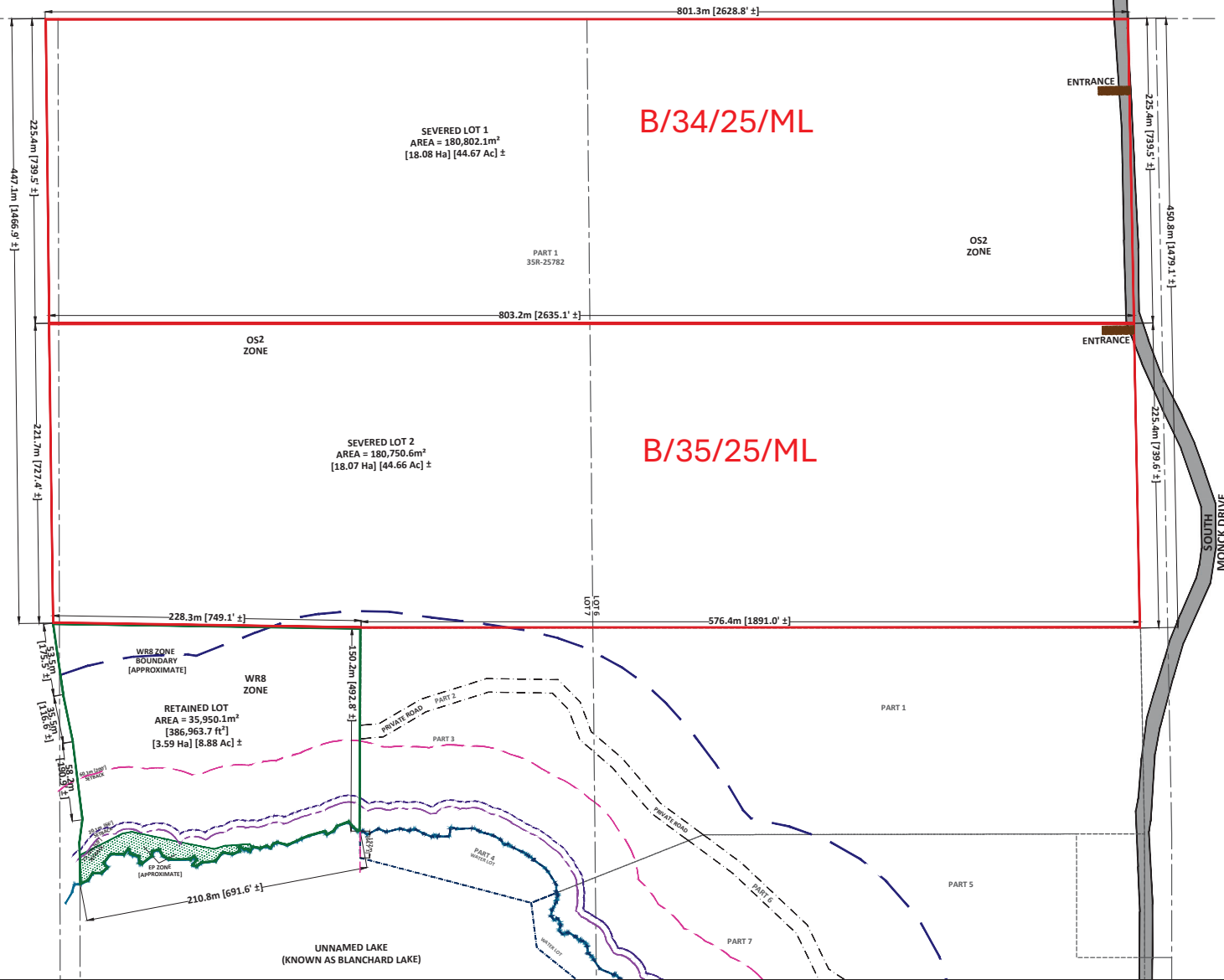
1:36,997

0 0.23 0.45 0.9 mi

0 0.35 0.7 1.4 km

Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

ZONING & CONSENT SKETCH



SEVERANCE SKETCH

1475 SOUTH MONCK DRIVE
 PART 1 - PLAN 35R-25782
 PART OF LOT 6, CONCESSION 6
 and PART OF LOT 7, CONCESSION 6
 GEOGRAPHIC TOWNSHIP OF MONCK
 TOWNSHIP OF MUSKOKA LAKES
 DISTRICT MUNICIPALITY OF MUSKOKA

Z661042 ONTARIO INC.

NOT TO SCALE

PLANScape			
BUILDING COMMUNITY THROUGH PLANNING			
SCALE	PROJECT NO.	DATE	BY
1 : 3 000	815003	NOVEMBER 26, 2025	JT
NO.	DATE	REVISIONS	BY
1.			
2.			
3.			
4.			

BASE MAP SOURCE:
 C.T. STRONGMAN SURVEYING LTD.
 2004, 2007 & 2013
 - THALER - 35R-25782

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2026-XXX

**Being a By-law to amend Comprehensive Zoning By-law
2014-14, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWNSHIP OF
MUSKOKA LAKES ENACTS AS FOLLOWS:**

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The lands affected by this amendment are described as Part of Lots 6 and 7, Concession 6, (in the former Township of Monck), now in the Township of Muskoka Lakes, more particularly described as Parts 1 and 2, Plan 35R-25782, as shown hatched on Schedule I to By-law 2026-XXX.
 - ii) Despite the provisions of Section 1, subsection ii) of By-law 2018-053, for those lands described above, the minimum lot area of Severed Lots #1 and #2 in Consent/Severance Applications B/34/35/25/ML shall be 44.5 acres, respectively, as shown on Schedule II to By-law 2026-XXX.
 - iii) Despite the provisions of Section 1, subsection ii) of By-law 2018-053, for those lands described above, the minimum lot area of the Retained Lot in Consent/Severance Applications B/34/35/25/ML shall be 8.8 acres, as shown on Schedule II to By-law 2026-XXX.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2026-XXX and By-law 2014-14, as amended, the provisions of By-law 2026-XXX shall apply.

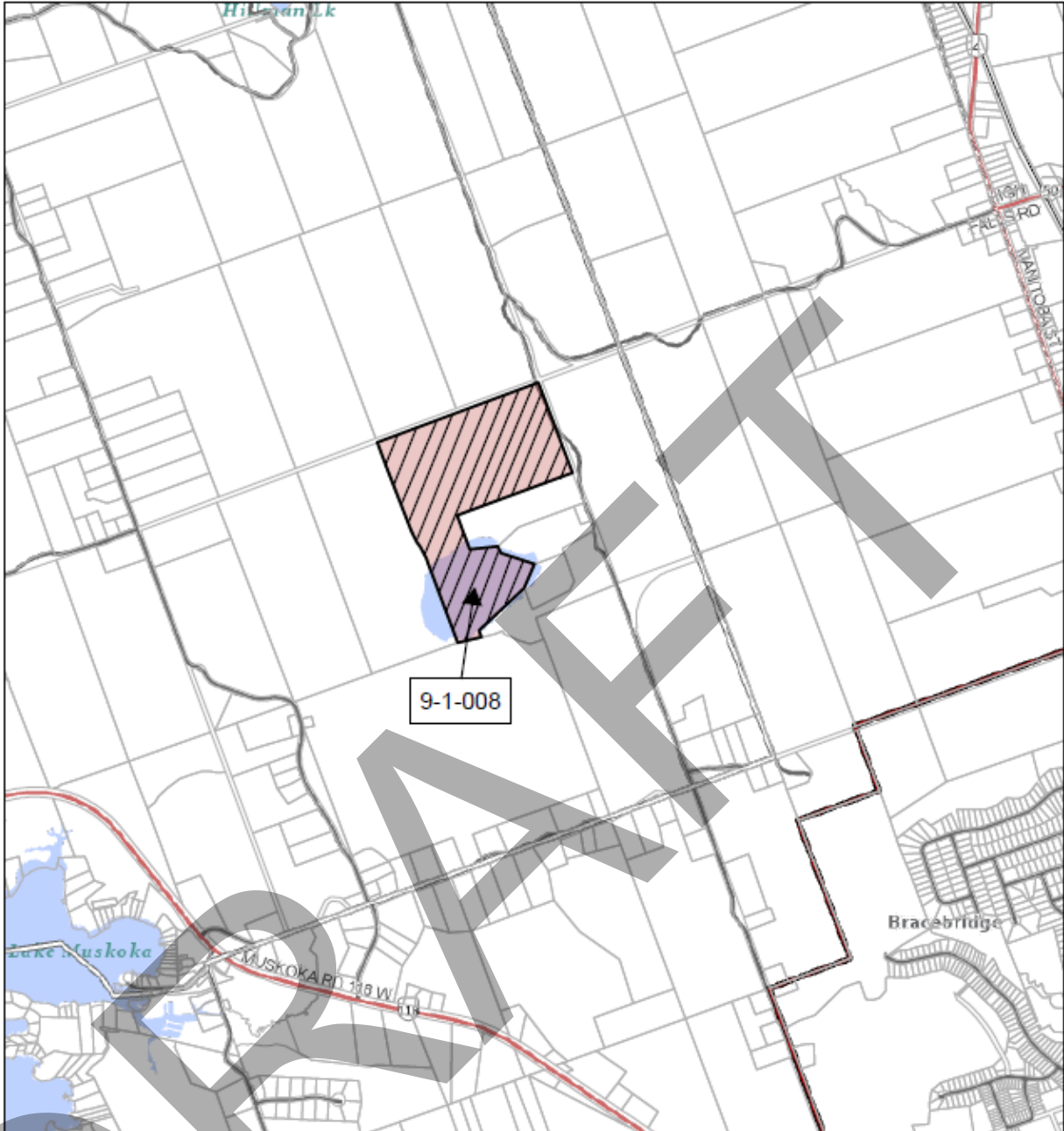
Read a **first, second and third time** and **finally passed** this _____ day of _____, **2026.**

Peter Kelley, Mayor

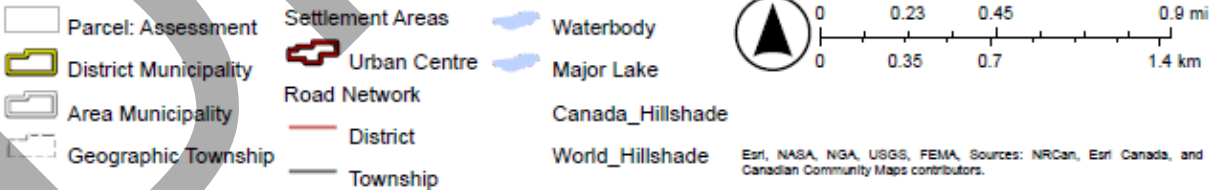
Crystal Best-Sararas, Clerk

SCHEDULE I TO DRAFT BY-LAW 2026-XXX

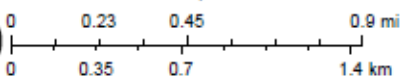
KEY MAP, B/34/35/25/ML, ZBA-21/25 (PATTMAN)



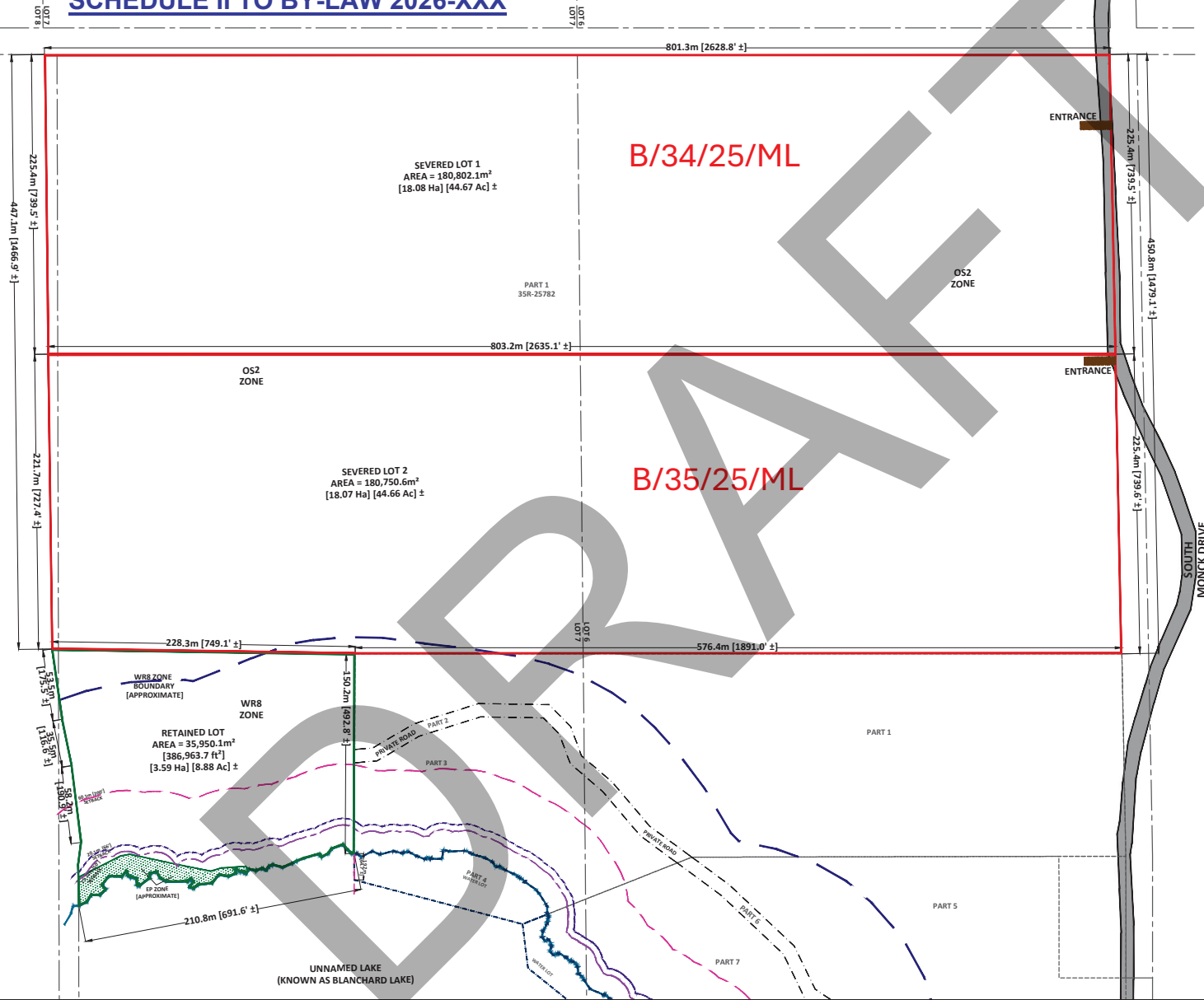
NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.



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SCHEDULE II TO BY-LAW 2026-XXX




SEVERANCE SKETCH

1475 SOUTH MONCK DRIVE
PART 1 - PLAN 35R-25782
PART OF LOT 6, CONCESSION 6
and PART OF LOT 7, CONCESSION 6
GEOGRAPHIC TOWNSHIP OF MONCK
TOWNSHIP OF MUSKOKA LAKES
DISTRICT MUNICIPALITY OF MUSKOKA

2661042 ONTARIO INC.

NOT TO SCALE

			
SCALE	PROJECT NO.	DATE	BY
1 : 3 000	815003	NOVEMBER 26, 2025	JT
NO.	DATE	REVISIONS	BY
1.			
2.			
3.			
4.			

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