

PLANNING COMMITTEE - NOTICE OF COMPLETE APPLICATION & PUBLIC MEETING

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Amendment to Zoning By-law 2014-14 pursuant to Section 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

File No.: ZBA-09/25

Roll No.: 4-11-045

By-law No.: To Be Assigned

Owner:	2838234 Ontario Inc. 40 King St, Suite 2400 Toronto, ON., M5H 3Y2		
Address & Description:	1613 Peninsula Road Concession 7, Part of Lots 18 and 19 (Medora)		
Zoning:	Waterfront Residential – Highly Sensitive or Over Threshold Lakes (WR4)	Lake Joseph (Category 1 Lake)	Schedule: 28
Meeting Date: Thursday, January 15th, 2026 at 9:00 a.m.			



Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

Explanation of the Purpose and Effect:

A Zoning By-law Amendment Application has been submitted to recognize an as-built pumphouse, an as-built sundeck with an incorporated hot tub, and an as-built dock addition and as-built boatlifts. Please note that a sundeck can include a hot tub.

A previous Minor Variance Application A-67/23 (2838234 Ontario Inc.) was submitted requesting the same as the application today (with some slight differences). A-67/23 was heard by Committee of Adjustment and adjourned for an updated Site Assessment and Remediation Report to address potential impacts to fish habitat resulting from the as-built boat lifts, the location of the as-built sundeck with incorporated hot tub be revised to comply with the minimum side yard setback requirements along with an updated site plan, and the boatport/canopy be removed from the existing boatlift. Rather than address these items and request the application to be brought back to



Committee of Adjustment, the applicant has opted to submit a Zoning By-law Amendment Application (ZBA-09/25).

A summary of the proposed exemptions are as follows:

Exemption	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Relief	Proposal
A ¹	3.4.1 e.	Minimum Lot Frontage and Lot Area	100 ft. and 15,000 sq. ft.	85.6 ft. and 15,000 sq. ft. (Existing)	-	Recognize an As-Built Pumphouse, Sundeck, and Boat Lifts on an Undersized Lot
B	4.1.3	Minimum Interior Side Yard Setback from the Northwestern Side Lot Line (Sundeck)	15 ft.	3.5 ft.	11.5 ft.	Recognize an As-Built Sundeck
C	4.1.3	Minimum Interior Side Yard Setback from the Northwestern Side Lot Line (Pumphouse)	15 ft.	4 ft.	11 ft.	Recognize an As-Built Pumphouse
D	4.1.3.6 & 4.1.3.7	Maximum Permitted Lot Coverage (Entire Lot)	10% (1,500 sq. ft.)	11% (1,653 sq. ft.)	154 sq. ft.	Recognize a Lot Coverage of 11% Over the Entire Lot
E	4.1.7, 4.1.7.1 & 4.1.7.11 a.	Minimum Side Yard Setback from the Northwestern Side Lot Line (Boat Lift)	15	4 ft.	9	Recognize an As-Built Boat Lift



F	4.1.7 & 4.1.7.12 a.	Maximum Cumulative Dock Width (Including Boat Lifts)	25% (21.25 ft.)	51% (44 ft.)	22.75 ft.	Recognize an As-Built Dock and Boat Lifts
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¹ Approval of this exemption will not deem the property to be a 'building lot'.

A key map of the subject property, the applicant's site plan and a draft By-law are included in this notice.

For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at planning@muskokalakes.ca or by phone at (705) 765-3156.
Please quote the file number noted above.

How to Participate:

Submit Comments in Writing



Submit comments to planning@muskokalakes.ca, deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

Active Participation In-Person or on Zoom



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit www.muskokalakes.ca/zoom

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact planning@muskokalakes.ca by 9:00 a.m. on the regular business day preceding the scheduled meeting.

Watch the Meeting Online



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on www.muskokalakes.ca

FAILURE TO PARTICIPATE IN MEETING: If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

REQUIREMENT FOR OWNERS OF MULTI-TENANT BUILDINGS: Upon receiving this Notice, owners of multi-tenant buildings with seven (7) or more residential units are asked



to post this Notice in a location that is clearly visible to all tenants (i.e. building or community notice board), in accordance with O.Reg 545/06.

NOTICE OF PASSING & APPEALS: If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect to this application, you must make a written request to planning@muskokalakes.ca.

Furthermore, if a person or public body would otherwise have an ability to appeal the decision of the Council of the Township of Muskoka Lakes to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

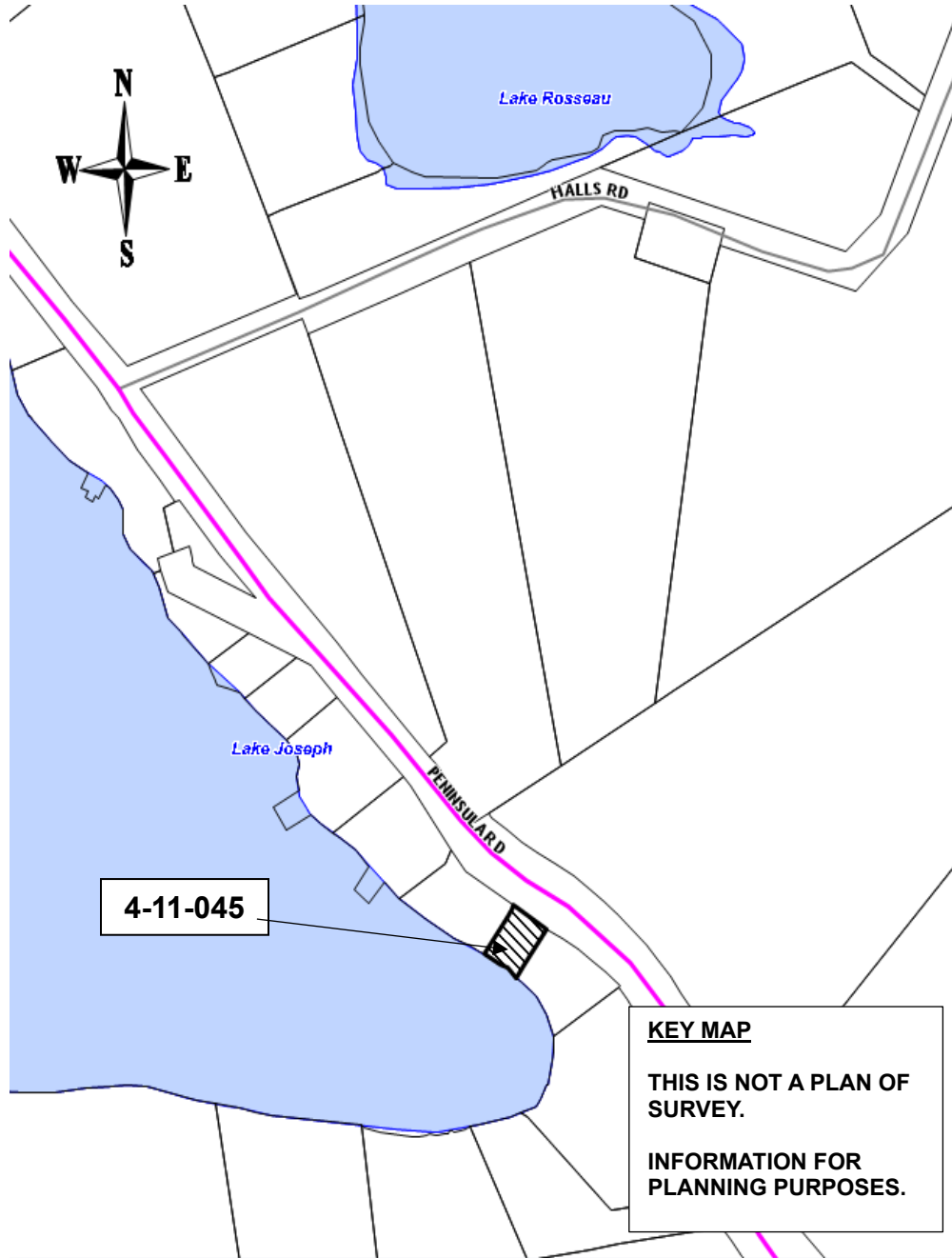
Notwithstanding the above, subsection 34(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 12th day of December, 2025.

Crystal Best-Sararas, Clerk
Corporation of the Township of Muskoka Lakes



KEY MAP



ZONING SKETCH

1613 Peninsula Road

10metres

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Variance	ZBL Section	Description	Required	Proposed/Existing
A	3.4.1 e.	Minimum Lot Frontage and Lot Area	30.5m and 1,393.5m ²	Permit a New Pumphouse, Sundeck, and Boat Lifts on an Undersized Lot
B	4.1.3	Minimum Northwesternly Side Yard Setback (Sundeck)	4.6m	1.2m
C	4.1.3	Minimum North-westerly Side Yard Setback (Pumphouse)	4.6m	1.4m
D	4.1.3	Maximum Lot Coverage	10%	11%
E	4.1.7, 4.1.7.1 & 4.1.7.11 a.	Minimum Northwesternly Side Yard Setback (Sea Doo Lift)	5.0m	1.4m
F	4.1.7 & 4.1.7.12 a.	Maximum Cumulative Dock Width (Including Boat Lifts)	6.5m (25% of 26.1m Frontage)	13.7m (52.4% of 26.1m Frontage)

Produced by MP Planning Inc.

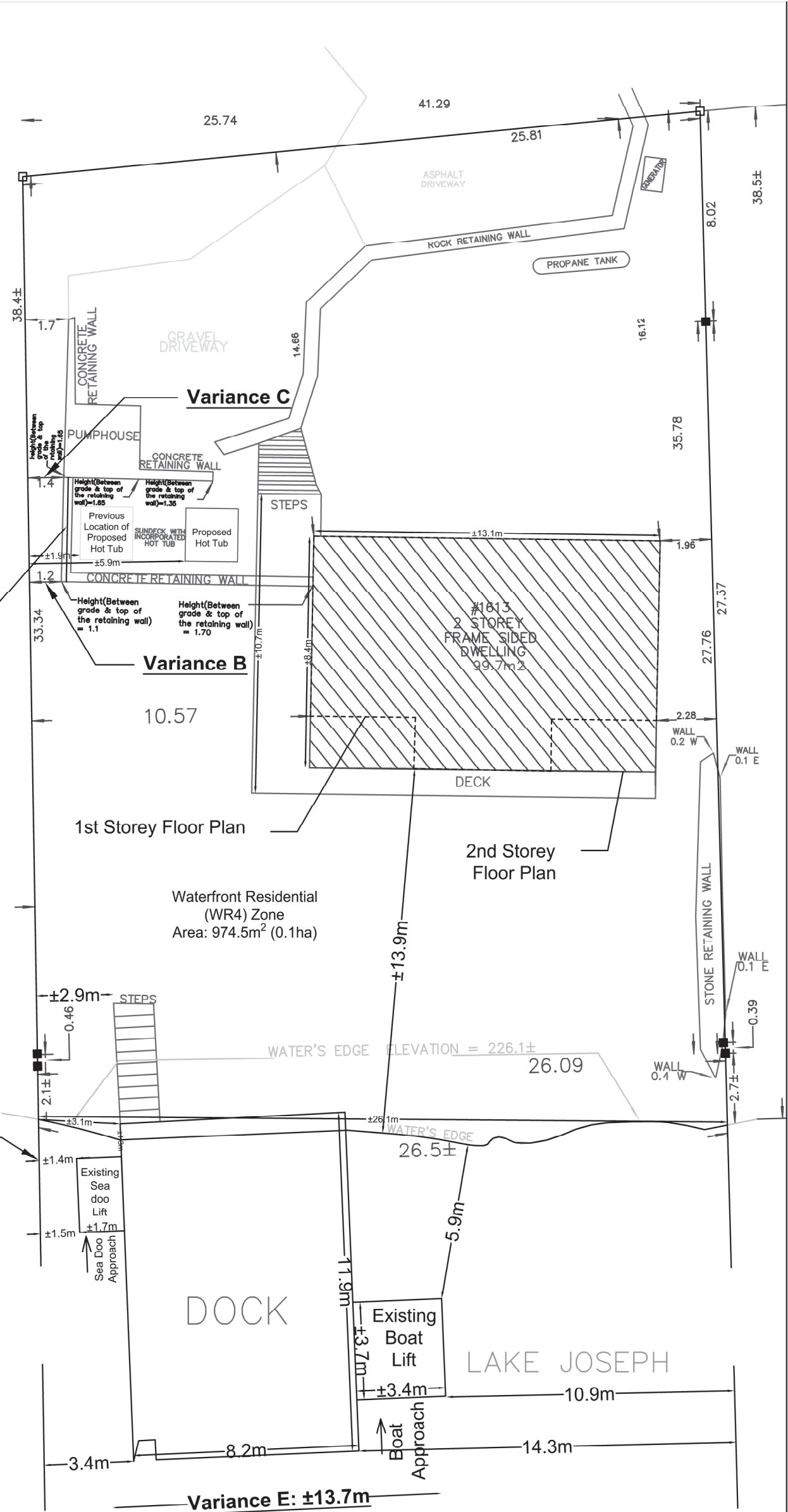
Source: Rudy Mak Surveying Ltd.

DISCLAIMER

The information contained herein is intended for information and discussion purposes. It does not represent a plan of survey.



Property Statistics
Frontage: 26.1m
Lot Size: ±1393.5 m ² (0.14ha)
Structures: <ul style="list-style-type: none">Dwelling: 89.44m² (main floor)/99.661m² (as shown on survey)Attached Deck: 53.88 m²
Coverage: 11%
Gross Floor Area(Building):189.2m ²



Site Sketch For Planning Purposes

Address: 1613 Peninsula Road	<div><div><div>MP</div></div><div>MP PLANNING INC.</div><div>44-A King William Street, Huntsville, ON, P1H 1G3 Ph: 705-789-9860 E: marie@mpplanning.com</div></div>
Owner:2838234 Ontario Inc. (Huff)	
Date: 2025 October 22th	
Rev #: 7	
Drawn By: E.Y.	

THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

BY-LAW NUMBER 2026-XXX

**Being a By-law to amend Comprehensive Zoning By-law
2014-14, as amended, in the Township of Muskoka Lakes**

WHEREAS the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

AND WHEREAS By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

AND WHEREAS the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

NOW THEREFORE the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:
 - 87-XXXX i) The lands affected by this amendment are described as Part of Lots 18 and 19, Concession 7 (in the former Township of Medora), now in the Township of Muskoka Lakes, as shown hatched on Schedule I to By-law 2026-XXX.
 - ii) Despite the provisions of Section 3.4.1 e. of Zoning By-law 2014-14, as amended, for those lands described above, a pumphouse, sundeck and boat lifts are permitted on an undersized lot as shown in the location and extent on Schedule II to By-law 2026-XXX.
 - iii) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14, as amended, for those lands described above, the minimum permitted interior side yard setback from the northwesterly side lot line for a sundeck shall be 3.5 feet, as shown in the location and extent on Schedule II to By-law 2026-XXX.
 - iv) Despite the provisions of Section 4.1.3 of Zoning By-law 2014-14, as amended, for those lands described above, the minimum permitted interior side yard setback from the northwesterly side lot line for a pumphouse shall be 4 feet, as shown in the location and extent on Schedule II to By-law 2026-XXX.
 - v) Despite the provisions of Sections 4.1.3.6 and 4.1.3.7 of Zoning By-law 2014-14, as amended, for those lands described above, the maximum permitted lot coverage over the entire lot shall be 11% (1,653 sq. ft.), as shown in the location and extent on Schedule II to By-law 2026-XXX.
 - vi) Despite the provisions of Sections 4.1.7, 4.1.7.1 and 4.1.7.11 a. of Zoning By-law 2014-14, as amended, for those lands described above, the minimum side yard setback from the northwesterly side lot line projection into the high water mark for a boatlift shall be 4 feet, as shown in the location and extent on Schedule II to By-law 2026-XXX
 - vii) Despite the provisions of Sections 4.1.7 & 4.1.7.12 a.

of Zoning By-law 2014-14, as amended, for those lands described above, the maximum cumulative dock width, including boat lifts, shall be 44 feet, as shown in the location and extent on Schedule II to By-law 2026-XXX.

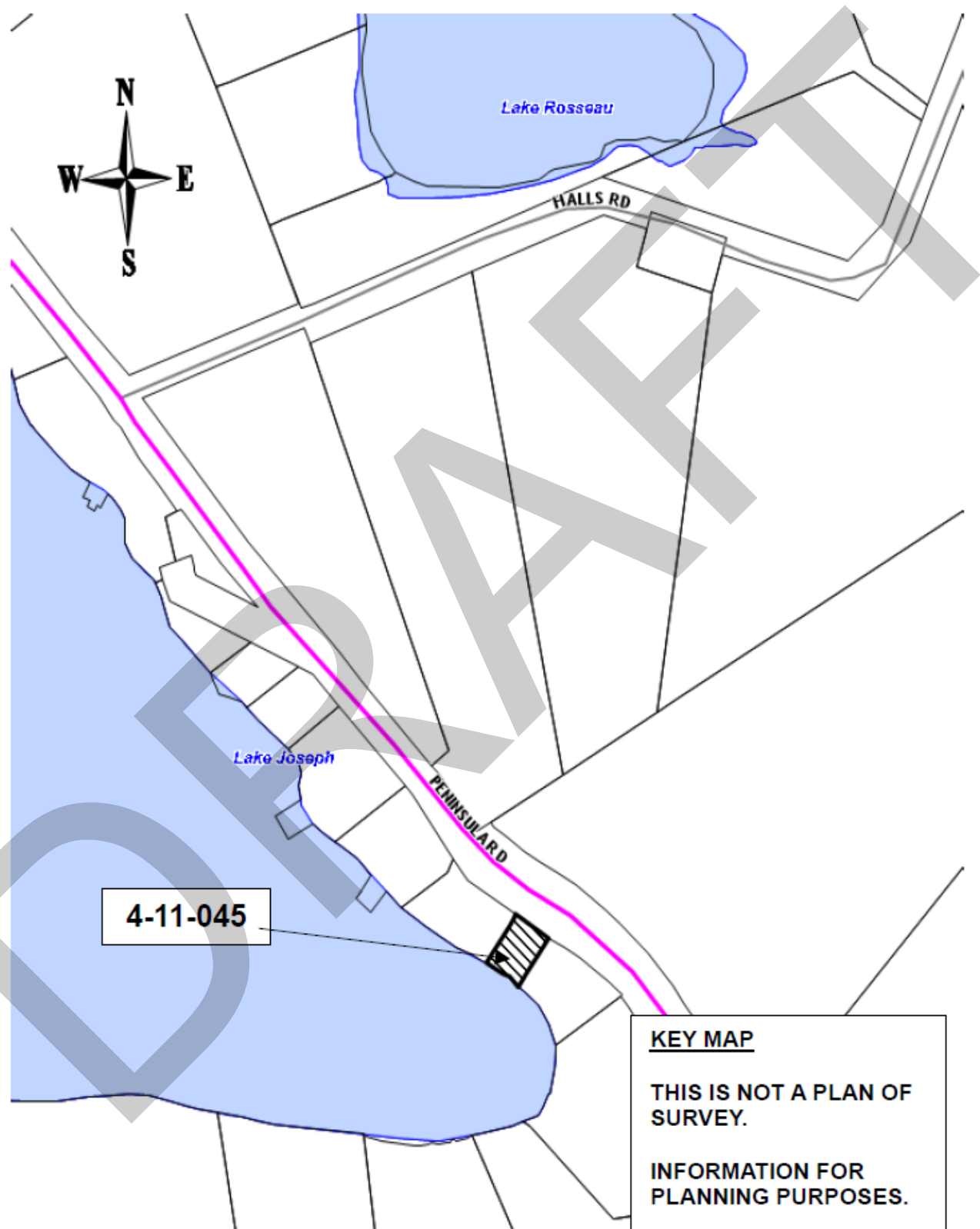
- 2. Schedules I and II attached hereto are hereby made part of this By-law.
- 3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2026-XXX and By-law 2014-14, as amended, the provisions of By-law 2026-XXX shall apply.

Read a **first, second and third time** and **finally passed** this _____ day of _____, **2026**.

Peter Kelley, Mayor



Crystal Best-Sararas, Clerk

SCHEDULE I TO DRAFT BY-LAW 2026-XXX



SCHEDULE II TO DRAFT BY-LAW 2026-XXX

1613 Peninsula Road

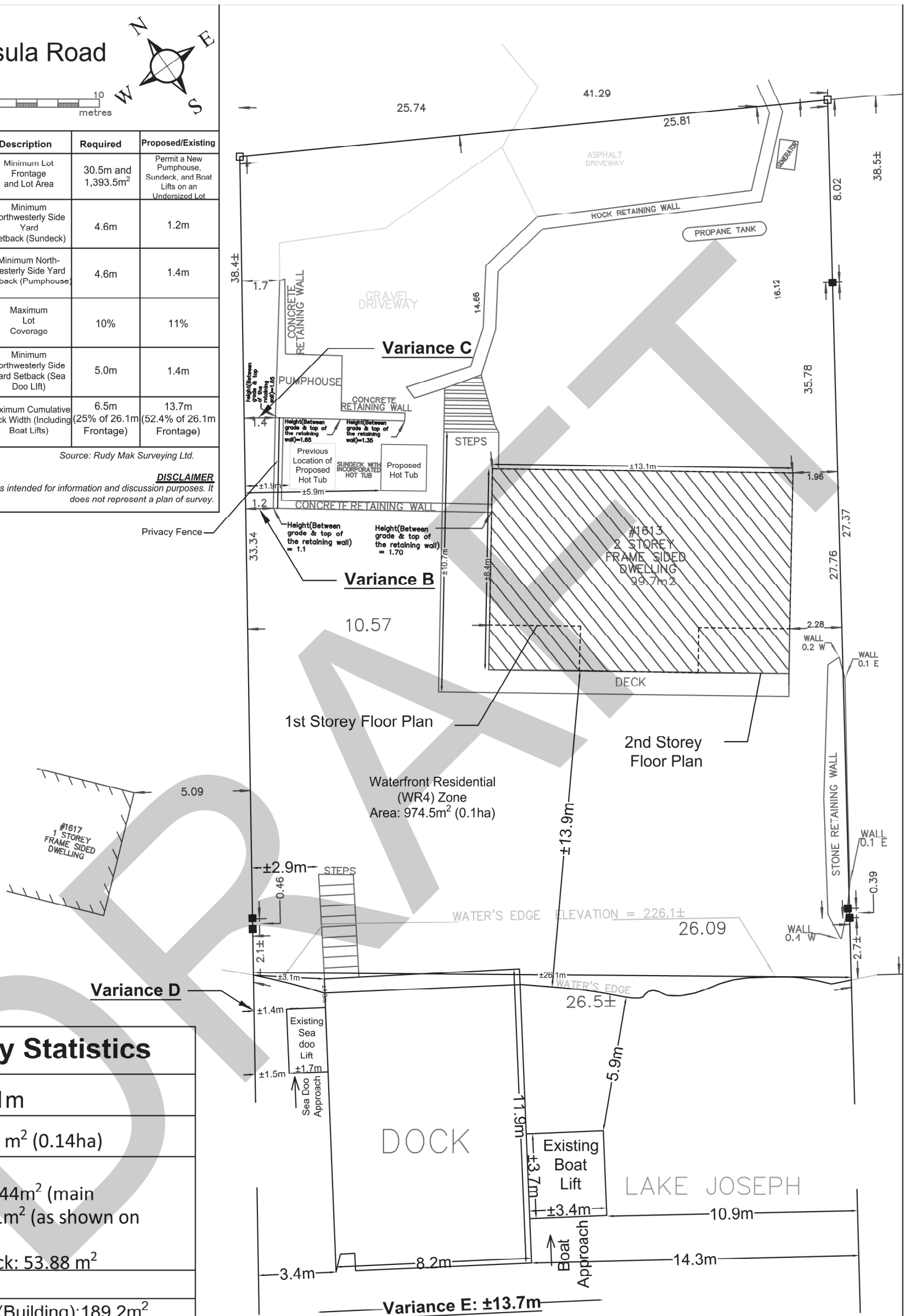



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Produced by MP Planning Inc.
Source: Rudy Mak Surveying Ltd.


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NOT TO SCALE