

## PLANNING COMMITTEE - NOTICE OF PUBLIC MEETING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

Take notice that the Council for the Corporation of the Township of Muskoka Lakes will be considering an application for a proposed Consent and Amendment to Zoning By-law 2014-14 pursuant to Sections 53 and 34 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

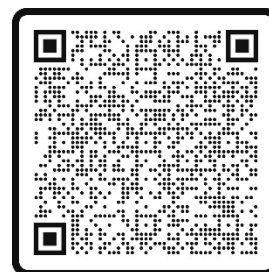
File No.: B/37/38/24/ML &  
ZBA-44/24

Roll No.: 4-12-032

By-law No.: To Be Assigned

<b>Owners:</b>	Carl Herrmann & Cynthia Marshall, 1032 Redwood Road, Suite 1, RR1, Port Carling, ON, P0B 1J0		
<b>Address &amp; Description:</b>	1805 Peninsula Road, Unit #338 Part of Lot 16, Concessions 11 and 12, Part 3, Plan 35R-26154, (Medora)		
<b>Zoning:</b>	Waterfront Residential (WR5-7)	Joseph River – Lake Joseph (Category 1 Lake)	Schedule: 20
<b>Meeting Date: Thursday, October 16th, 2025 at 9:00 a.m.</b>			

Take further notice that this public meeting will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The meeting will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Public Meeting for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.



#### Explanation of the Purpose and Effect:

Consent/Severance Applications B/37/38/24/ML have been submitted to create one new lot and grant a right-of-way. The proposed right-of-way will provide private access over the proposed Severed Lot in favour of the Retained Lot.

Consent Applications B/06/07/08/16/ML were granted in June 2019 resulting in the creation of 3 new lots (plus one Retained Lot). The subject property (Parent Lot) in the current application formed the Retained Lot in Application B/06/07/08/16/ML. As part of the past consent process, By-law 2016-027 was passed in November 2018, which imposed site specific zoning provisions.

A Zoning By-law Amendment Application (ZBA-44/24) has been submitted concurrently to allow for the creation of one additional lot. Section 1. iv) of By-law 2016-027 limits the frontage and area of the Parent Lot to its existing dimensions. ZBA-44/25 proposes to repeal Section 1. iv) of By-law 2016-027. The proposed lots (Severed and Retained) will comply with the lot frontage and area



requirements of the Township's Comprehensive Zoning By-law for the Waterfront Residential (WR5-7) Zone.

ZBA-44/24 will also repeal Section 1.vii) of By-law 2016-027, which limits shoreline structures to a specific envelope. The ZBA-44/24 proposes to permit shoreline structures along two sections of the shoreline.

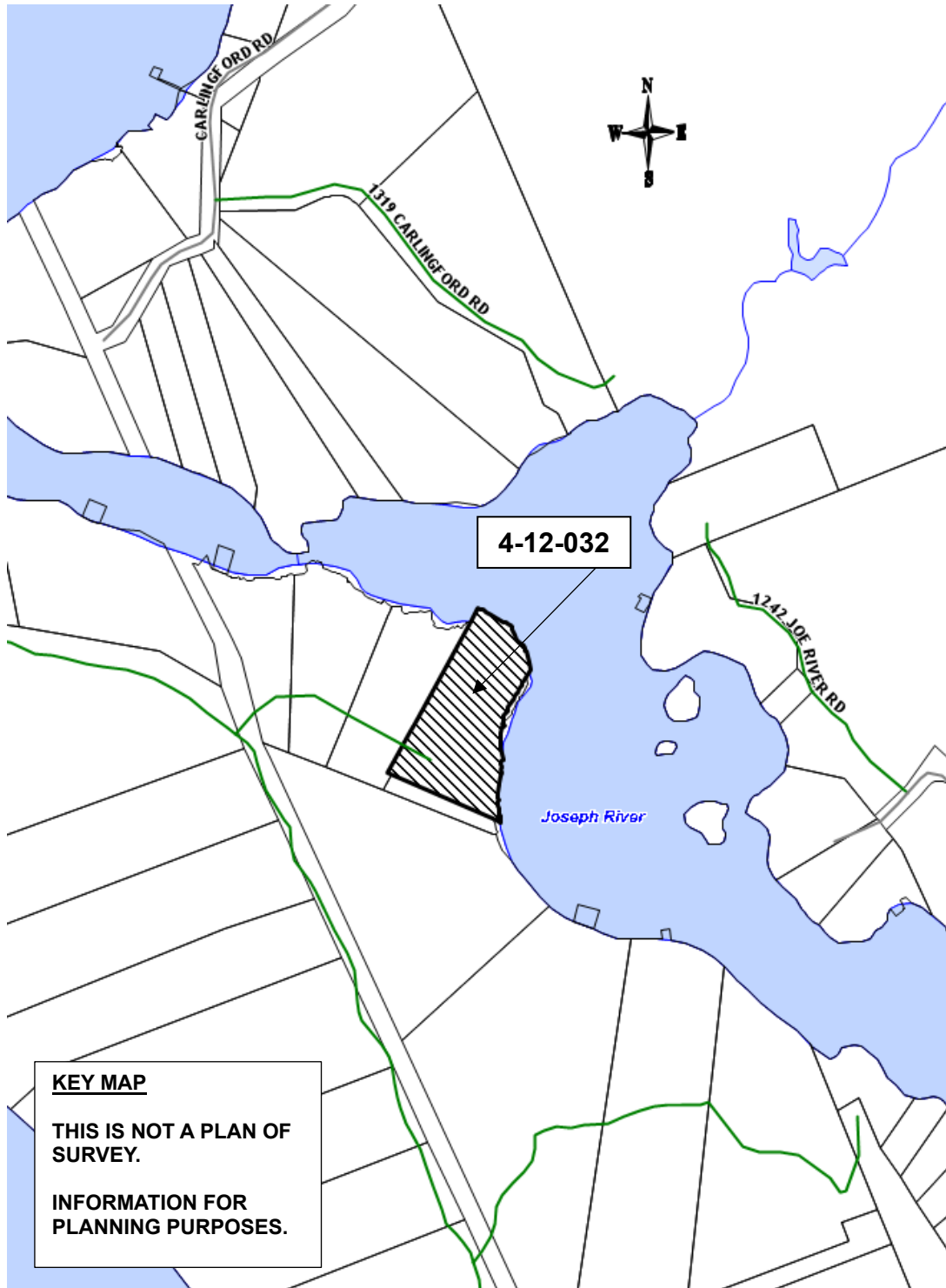
The proposed exemptions are detailed in the table below.

Exemption	ZBL 2014-14, As Amended Section(s)	Description	Permitted	Proposed	Relief	Proposal
A	Section 1. iv), 2016-027	Repeal Section 1, iv) of By-law 2016-027	Minimum Lot Dimensions: Frontage: 745 ft. Area: 4 acres	Retained Lot: Frontage: 445 ft. Area: 2.36 acres  Severed Lot Frontage: 315 ft. Area: 2.18 acres		Create One New Lot
B	4.1.7	Accessory Structures Over Water Provisions	-	Permit an Additional Shoreline Structure Envelope (Severed Lot)		Permit Shoreline Structures on the Proposed Retained and Severed Lots in Defined Envelopes
C	2016-027, Section 1. vii)	Repeal Section 1, vii) of By-law 2016-027	Permits a Single Shoreline Structure Envelope (Retained Lot)			

A key map of the subject property, the applicant's site plan and any drawing, and a draft By-law are included in this notice.



## KEY MAP



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**



## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0

Personal information collected in response to this Notice of Public Meeting will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid meetings are held at 9:00 a.m. on the above-noted meeting date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Planning Committee at the meeting by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled meeting.

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### **Watch the Meeting Online**



You can access the meeting from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the meeting recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN MEETING:** If you do not participate in the meeting it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**NOTICE OF PASSING & DECISION:** If you wish to be notified of the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent or zoning by-law amendment, you must submit a written request to the Township of Muskoka Lakes, Box 129, Port Carling, Ontario, P0B 1J0.

**ZONING AMENDMENT:** If a person or public body would otherwise have an ability to appeal the decision of Council to the Ontario Land Tribunal but the person or public body does not make oral submissions at a public meeting or make written submissions to the Township of Muskoka Lakes before the by-law is passed, the person or public body is not entitled to appeal the decision. The person or public body may not be added as a party to the hearing of an appeal before the Ontario Land Tribunal unless, in the opinion of the Tribunal, there are reasonable grounds to do so.

**CONSENT:** No one other than the applicant, the municipality, certain public bodies and the minister may file an appeal of the decision of Council in respect of the proposed consent. If a person or public body has the ability to appeal the decision of the Council of the Township of Muskoka Lakes in respect of the proposed consent to the Ontario Land



Tribunal, but does not make written submissions to the Council of the Township of Muskoka Lakes before it gives or refuses to give a provisional consent, the Tribunal may dismiss the appeal.

Notwithstanding the above, subsections 34(19) and 53(19) of the Planning Act defines the parties that are eligible to appeal the decision to the Ontario Land Tribunal.

Dated at the Township of Muskoka Lakes this 10th day of September, 2025.

Crystal Paroschy, Clerk  
Corporation of the Township of Muskoka Lakes

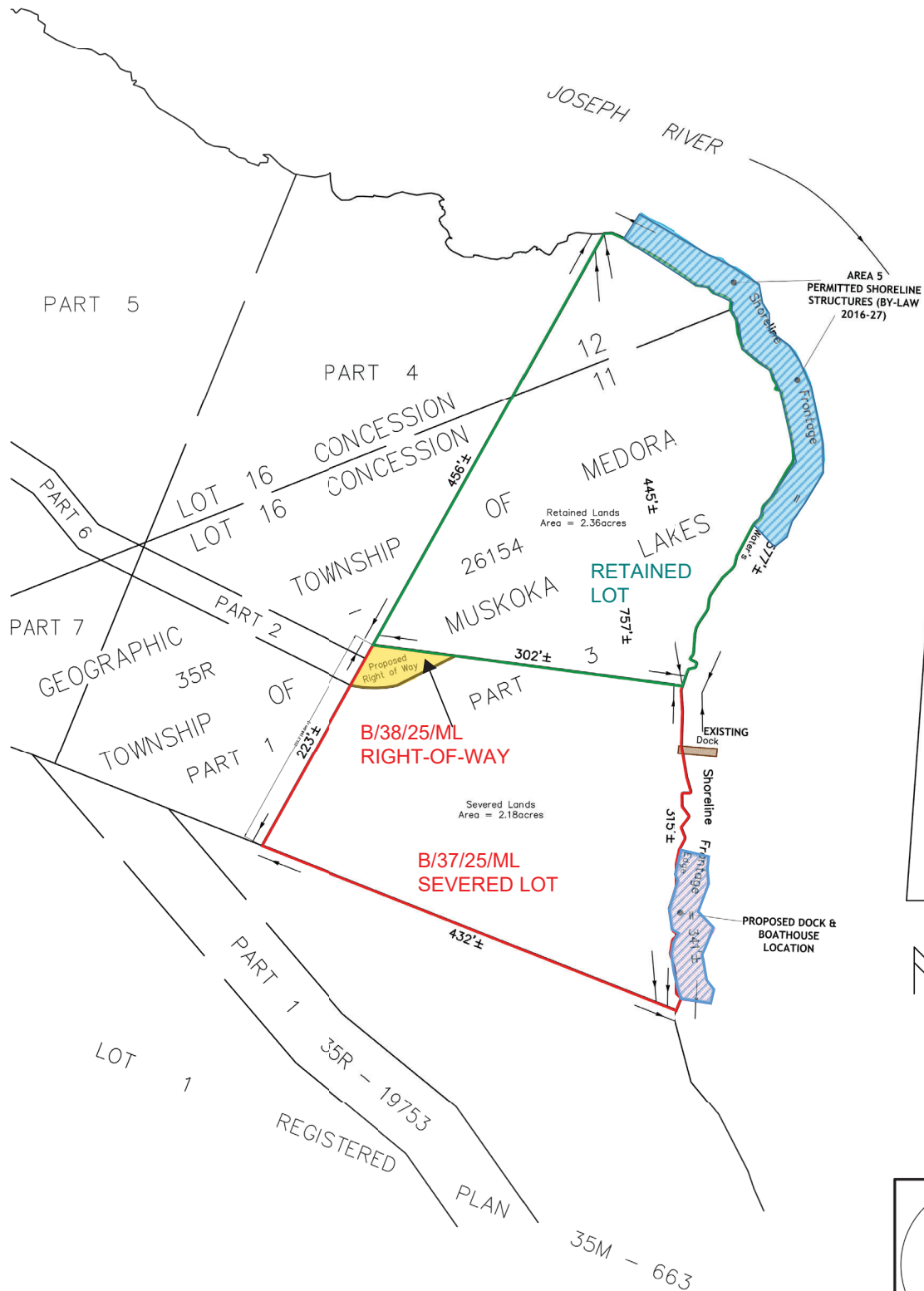


Information shown hereon was derived from plan 35R-26154.

**SCALE 1" = 100'**



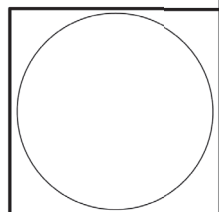
## CONSENT & ZONING SKETCH



NOT TO SCALE

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May 22, 2025  
File: MUS2024-110



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**THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES**

**BY-LAW NUMBER 2025-XXX**

**Being a By-law to amend Comprehensive Zoning By-law  
2014-14, as amended, in the Township of Muskoka Lakes**

**WHEREAS** the authority to pass this by-law is provided by Section 34 of the Planning Act, R.S.O. 1990, Chapter P.13 and amendments thereto;

**AND WHEREAS** By-law 2014-14 was enacted by the Corporation of the Township of Muskoka Lakes to regulate land use within the Municipality;

**AND WHEREAS** the Council of the Corporation of the Township of Muskoka Lakes deems it advisable to further amend By-law 2014-14;

**NOW THEREFORE** the Council of the Corporation of the Township of Muskoka Lakes enacts as follows:

1. Section 12 of By-law 2014-14 is hereby further amended by the addition of the following subsection:

87-XXXX    i)    The lands affected by this amendment are described as Part of Lot 16, Concessions 11 and 12, (in the former Township of Medora), now in the Township of Muskoka Lakes, more particularly described as Part 3, Plan 35R-26154, as shown hatched on Schedule I to By-law 2024-XXX.

              ii)    Despite the provisions of Section 4.1.7 of By-law 2014-14, as amended, for those lands described above, shoreline structures shall only be permitted within the areas shown hatched on Schedule II to By-law 2025-XX.

              iii)    Section 1. iv) of By-law 2016-027 is hereby repealed.

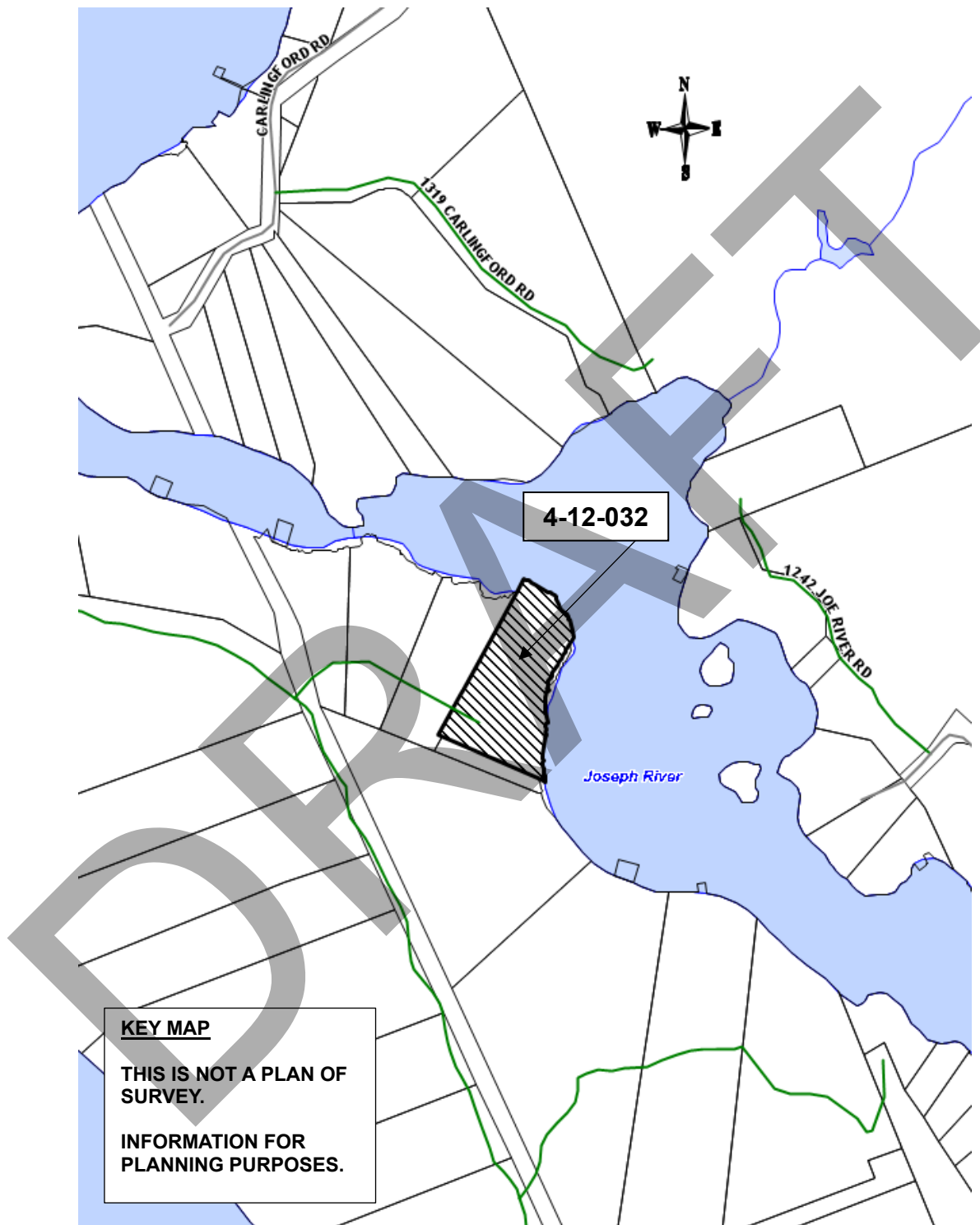
              iv)    Section 1. vii) of By-law 2016-027 is hereby repealed.
2. Schedules I and II attached hereto are hereby made part of this By-law.
3. All other provisions of By-law 2014-14 apply. To the extent of any conflict between By-law 2025-XXX and By-law 2014-14, as amended, the provisions of By-law 2025-XXX shall apply.

Read a **first, second and third time** and **finally passed** this \_\_\_\_ day of \_\_\_\_\_, **2025**.

\_\_\_\_\_  
Peter Kelley, Mayor

\_\_\_\_\_  
Crystal Paroschy, Clerk

**SCHEDULE I TO DRAFT BY-LAW 2024-XXX**





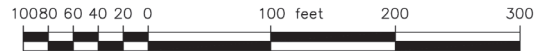
Caution: This is NOT a Plan of Survey and shall not be used except for the purpose indicated in the title block.

Information shown hereon was derived from plan 35R-26154.

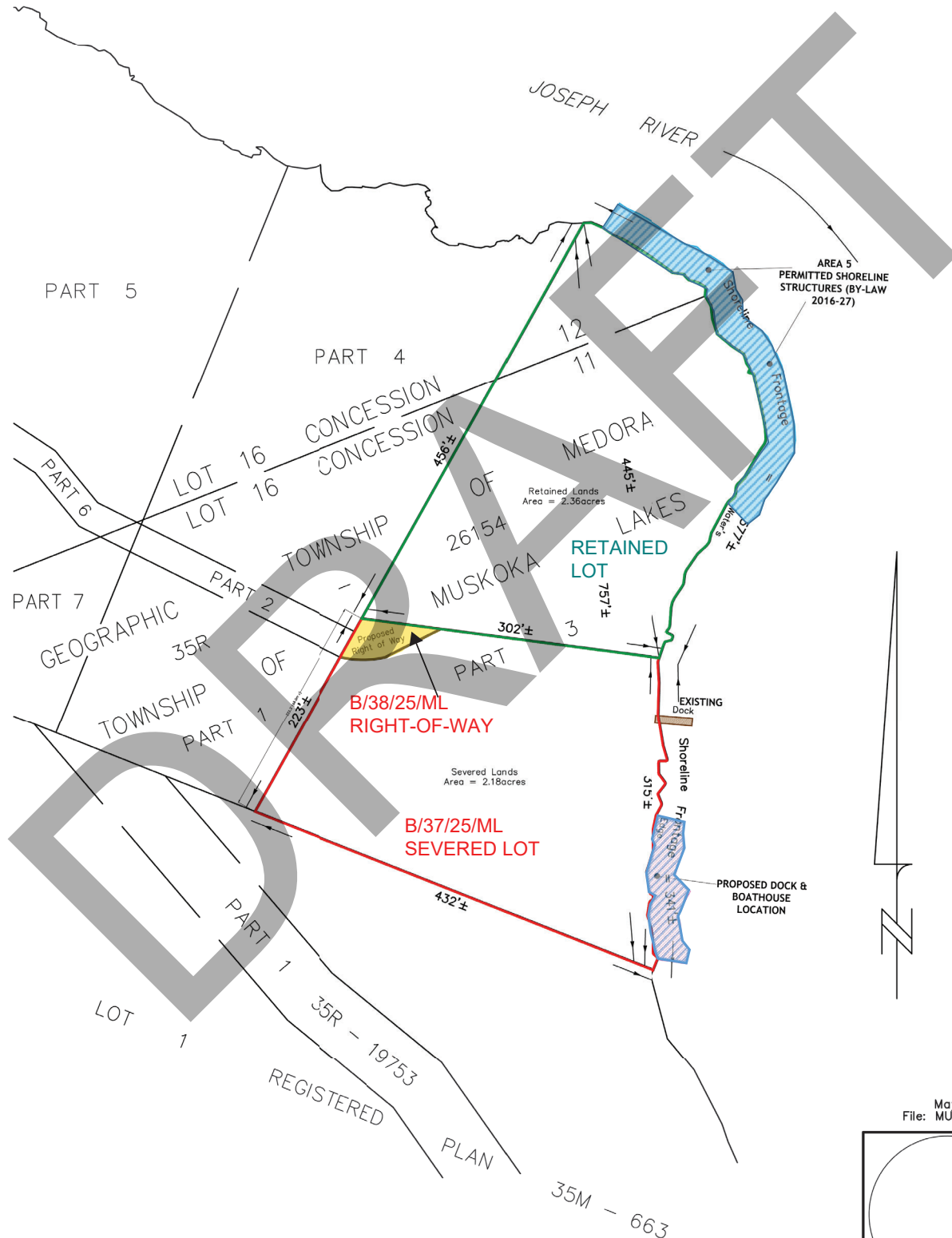
## SCHEDULE II TO BY-LAW 2025-XXX

## SKETCH FOR CONSENT APPLICATION PURPOSES

SCALE 1" = 100'



DISTANCES SHOWN ON THIS SKETCH ARE IN FEET AND CAN BE CONVERTED TO METRES BY MULTIPLYING BY 0.3048.



NOT TO SCALE

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