

## COMMITTEE OF ADJUSTMENT - NOTICE OF HEARING

### THE CORPORATION OF THE TOWNSHIP OF MUSKOKA LAKES

To consider an application for a proposed minor variance to Zoning By-law 2014-14 pursuant to Section 45 of the Planning Act, R.S.O., 1990, Chapter P. 13, as amended. **This notice has been sent to you for information and does not require any response unless you wish to make one.**

**File No.: A-54/25**

**Roll No.: 9-7-019**

<b>Owners:</b>	Justin & Courtney Wyatt, 1500 Falkenburg Road, RR#6 Station Main, Bracebridge, ON, P1L 1X4		
<b>Address &amp; Description:</b>	1500 Falkenburg Road Part of Lots 12 & 13, Concession 10, Parts 1 & 3, Plan 35R-10398, (Monck)		
<b>Zoning:</b>	Rural (RU1), Rural Residential (RUR), & Environmental Protection (EP1)	Lake: Not Applicable	Schedule: 31
<b>Hearing Date: Tuesday, October 14th, 2025 at 9:00 a.m.</b>			



Take further notice that this public hearing will be held in a hybrid forum with electronic Zoom participation, and in-person format for those wishing to attend in-person. The hearing will be held in the **Council Chambers, Municipal Office, 1 Bailey Street, Port Carling, ON**. Should you wish to view an electronic copy of the Notice of Hearing for the above-noted application, please visit <https://www.muskokalakes.ca/planning-notices/> or scan the QR code.

#### Explanation of the Purpose and Effect:

The applicant proposes to construct a two-storey garage with a secondary dwelling unit in the upper level. The following is a summary of the requested variances:

Variance	ZBL 2014-14 Section(s)	Description	Permitted	Proposed	Variance	Proposal
A	6.1.3	Maximum Building Height – Accessory Building	20 ft.	24 ft.	4 ft.	Construct a Two- Storey Garage with Secondary Dwelling Unit

A key map of the subject property and the applicants' site plan and any drawings are included in this notice.



For more information, please contact the Planning Division weekdays between 8:15 a.m. and 4 p.m. at the Municipal Office, or at [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) or by phone at (705) 765-3156. **Please quote the file number noted above.**

## **How to Participate:**

### **Submit Comments in Writing**



Submit comments to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca), deliver in-person, or mail to P.O. Box 129, 1 Bailey Street, Port Carling, ON, P0B 1J0. For correspondence to be included on the agenda, please submit your comments by: **October 8, 2025.**

**Please note that comments can still be submitted after the agenda has been published.** Personal information collected in response to this Notice of Hearing will be used to assist staff and Council to process this application and will be made public.

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### **Active Participation In-Person or on Zoom**



Hybrid hearings are held at 9:00 a.m. on the above-noted hearing date in Council Chambers at the Municipal Office. For more information about participating via Zoom, visit [www.muskokalakes.ca/zoom](http://www.muskokalakes.ca/zoom)

If you wish to speak to the Committee of Adjustment at the hearing by electronic participation, please contact [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca) by 9:00 a.m. on the regular business day preceding the scheduled hearing.

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### **Watch the Hearing Online**



You can access the hearing from YouTube on the Township of Muskoka Lakes YouTube Channel. If the live webcast fails, the hearing recording will be posted under the Government Portal on [www.muskokalakes.ca](http://www.muskokalakes.ca)

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**FAILURE TO PARTICIPATE IN HEARING:** If you do not participate in the hearing it may proceed in your absence and, except as otherwise provided in the Planning Act, you will not be entitled to any further notice in the proceedings.

**DECISION & APPEALS:** If you wish to be notified of the decision of the Committee of Adjustment in respect to this application, you must make a written request to [planning@muskokalakes.ca](mailto:planning@muskokalakes.ca). Furthermore, **no one other than** the applicant, the municipality, certain public bodies, a “specified person” (as defined by the Planning Act 1(1)), and the minister may file an appeal of the decision of the Committee of Adjustment in respect of the proposed variance. If they do not make a written submission to the Secretary Treasurer before the variance is approved or refused, then the Ontario Land Tribunal may dismiss the appeal.

**PLEASE NOTE:** The Committee of Adjustment is a judicial body which makes decisions solely on the information gathered as a Committee. Committee members are not to be contacted prior to the hearing date to avoid a conflict of interest.

Dated at the Township of Muskoka Lakes  
This 12th day of September, 2025.








Chelsea Ward, Secretary-Treasurer  
Committee of Adjustment  
[planning@muskokalakes.ca](mailto:planning@muskokalakes.ca)

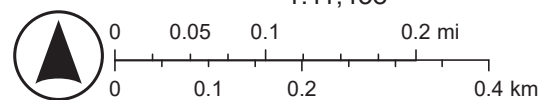


# KEY MAP, A-54/25 (WYATT)



NOT A PLAN OF SURVEY. FOR INFORMATIONAL PURPOSES ONLY.

- |  |   |
|--|---|
|  Parcel: Assessment    |  Stream    |
|  District Municipality |  Waterbody |
|  Area Municipality     | Canada_Hillshade  |
|  Geographic Township   | World_Hillshade   |
- Road Network
-  District



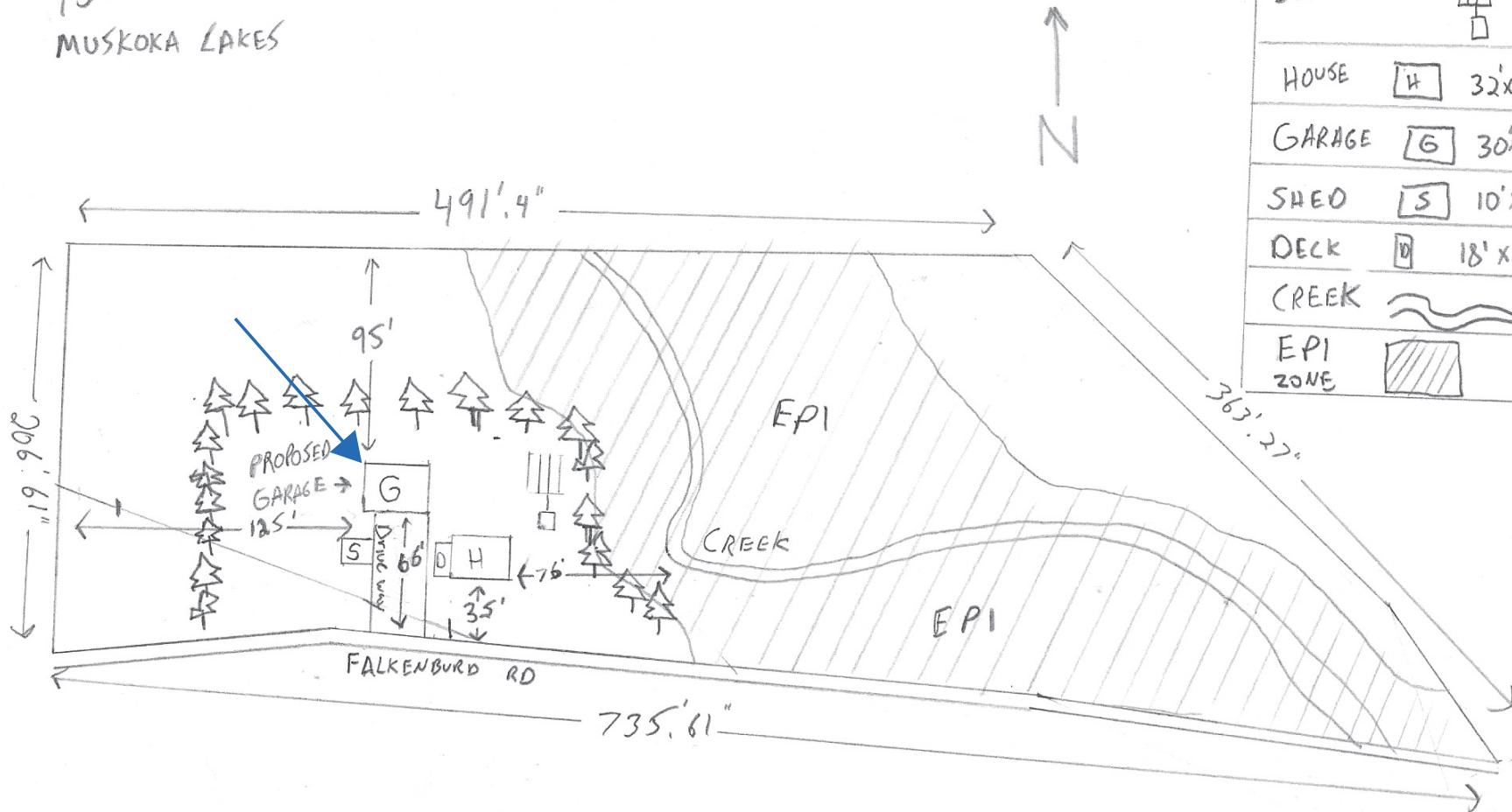
1:11,438

Esri, NASA, NGA, USGS, FEMA, Sources: NRCan, Esri Canada, and Canadian Community Maps contributors.

MINOR VARIABLE SKETCH  
24' HIGH 30'x28' GARAGE WITH APARTMENT

# SITE PLAN

1500 FALKENBURG RD  
MUSKOKA LAKES



## LEGEND

POWER LINE

TREE LINE

SEPTIC SYSTEM

HOUSE

32'x24'

GARAGE

30'x28'x24' HIGH

SHED

10'x10'

DECK

18'x12'

CREEK

EPI  
ZONE

NOT TO SCALE

SCALE

1"=80'

# ELEVATIONS

## IMPORTANT NOTE

HOME HARDWARE STORES LIMITED DOES NOT ASSUME LIABILITY FOR ANY ERRORS OR OMISSIONS ON THIS PLAN, UNLESS SUBMITTED IN WRITING IN CONNECTION WITH THE "SHEEP" PREDELIVERY INSPECTION. FORM DESCRIBING SUCH ERRORS OR OMISSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. HOME HARDWARE STORES LIMITED SHALL NOT BE RESPONSIBLE FOR ANY DEPARTURE FROM THESE DRAWINGS ADVISED BY ANY BUILDING CONTRACTOR OR PROFESSIONAL CONSULTANT AT ANY TIME PRIOR TO OR DURING CONSTRUCTION, HOWEVER ANY SUCH DEVIATION OR CHANGES TO THESE PLANS SHALL BE THE RESPONSIBILITY OF THE HOME HARDWARE STORES LIMITED. THAT HOME HARDWARE STORES LIMITED MAY HAVE WITH RESPECT TO THIS PLAN OR CONSEQUENT CONSTRUCTION, RESALE OF THESE DRAWINGS ARE STRICTLY PROHIBITED.

BUILDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING. DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL CONSTRUCTION SHALL COMPLY WITH PART 9 OF THE NATIONAL BUILDING CODE OF CANADA.

## DESIGN LOADS

### FLOOR LOADS

LIVE LOAD = 40 P.S.F.  
DEAD LOAD = 10 P.S.F.  
TOTAL FLOOR LOAD = 50 P.S.F.

### ROOF LOADS

LIVE LOAD = 45 P.S.F.  
DEAD LOAD = 10 P.S.F.  
TOTAL ROOF LOAD = 55 P.S.F.

### SOIL BEARING CAPACITY

MINIMUM ALLOWABLE SOIL BEARING CAPACITY = 10 LB/SQ FT (15 KPa)

## BY OTHER

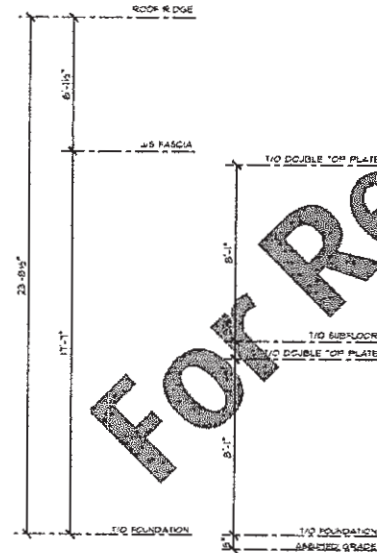
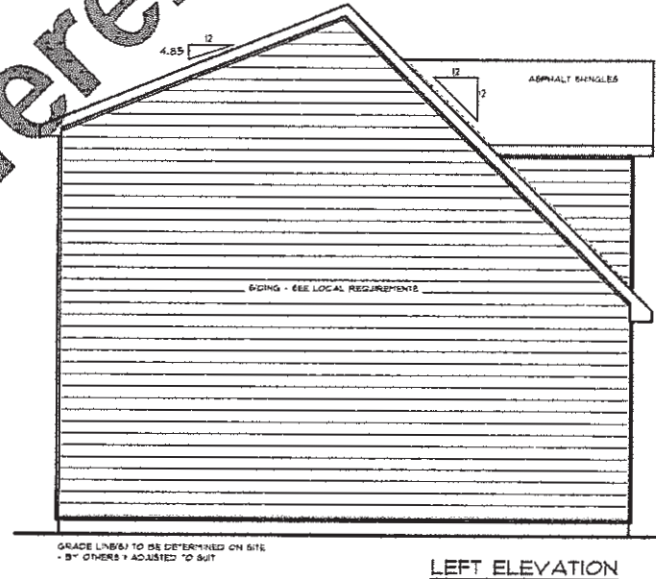
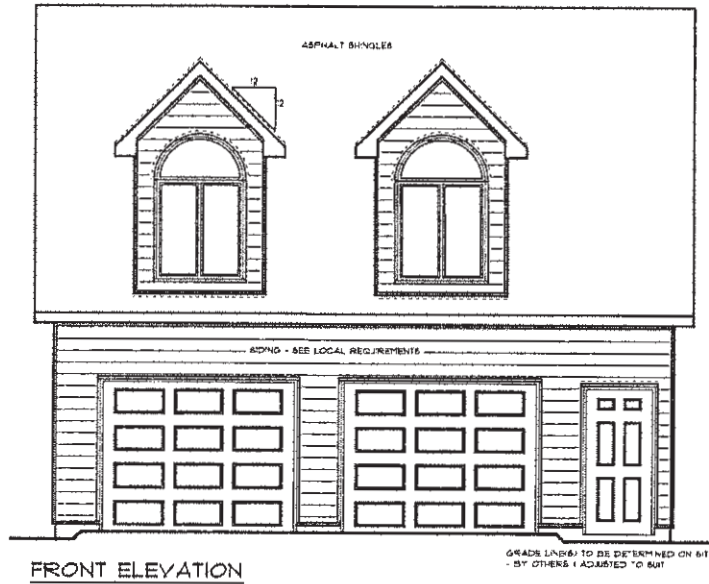
- ALL CONCRETE & IRON RAILINGS
- PAVING
- BRICK FACE & ACCESSORIES
- MECHANICAL SYSTEMS
- ELECTRICAL SYSTEMS
- FOUNDATION DRAINAGE LATER (AS REQUIRED)

## DROP GAP FLASHING

DROP GAP FLASHING ABOVE EXTERIOR WINDOW & DOOR OPENINGS IN SIDING APPLICATIONS.

## SIDING NOTE

CHECK WITH LOCAL AUTHORITIES ON REQUIREMENTS FOR EXTERIOR CLADDING SUCH AS SIDING, SOILING AND AIR BARRIER IS NOT INCLUDED IN THE BASE PACKAGE PRICE.



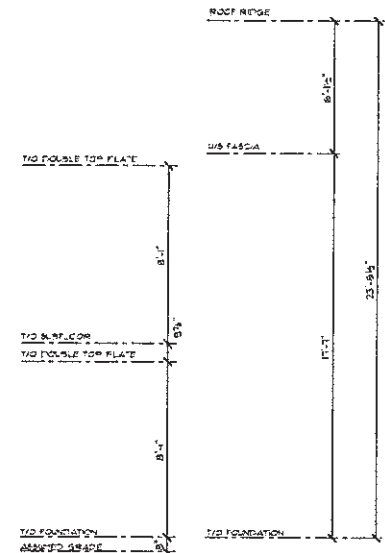
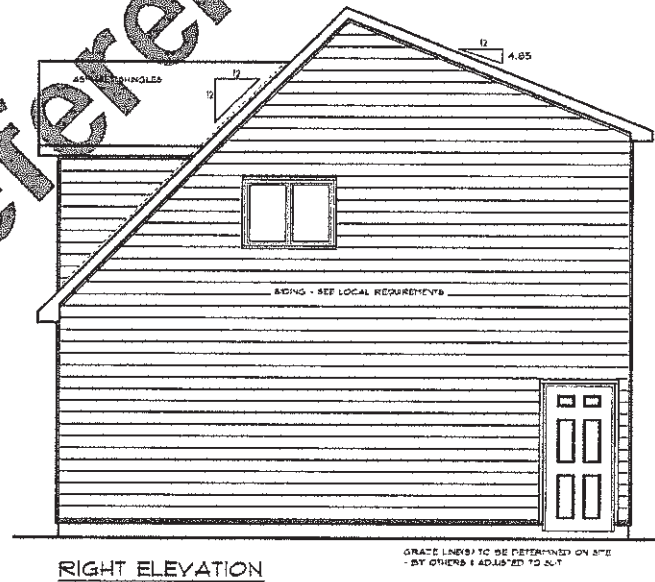
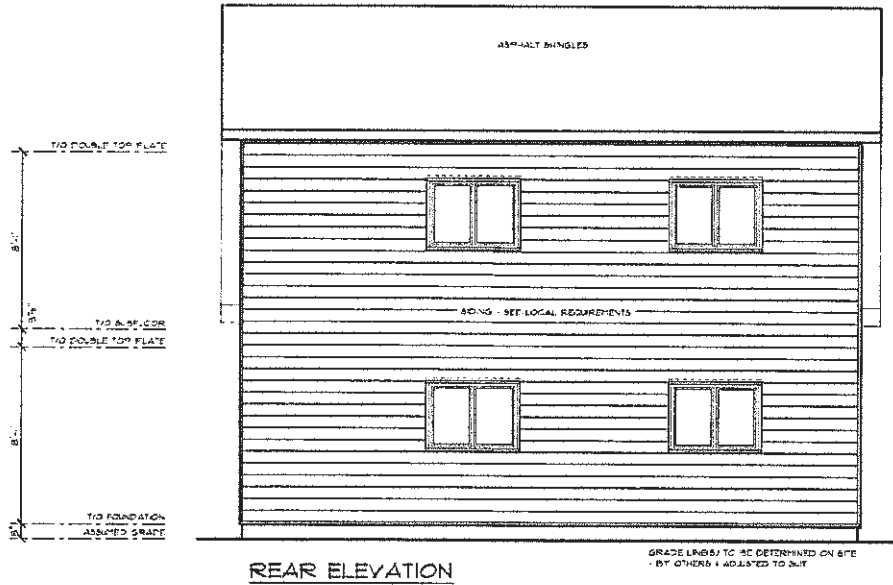
For Reference Only

NOT TO SCALE

<b>REVISIONS</b> DATE A B C <b>NOTES</b> 1. DRAWING IS APPROVED FOR CONSTRUCTION. 2. SPECIAL THANKS TO THE ARCHITECT FOR THE DESIGN. 3. THIS DRAWING IS THE PROPERTY OF HOME HARDWARE STORES LIMITED AND IS NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.	<b>DETAIL NUMBER</b> A B C <b>SHEET NUMBER</b> 1 <b>WHERE DETAIL REQUIRED</b> 1 <b>SHEET NUMBER</b> 1 <b>WHERE DETAILED</b> 1	<b>MODEL</b> LOFT GARAGE 28' x 26' <b>CUSTOMER</b> STORE <b>DATE</b> JANUARY, 2008 <b>DRAWN BY</b> C.M.	<b>DRAWING</b> FRONT & LEFT ELEVATIONS <b>SCALE</b> 1/4"=1'-0" <b>CHECKED BY</b> DATE <b>DRAWN BY</b> C.M.	 <b>Home</b> building centre THIS DESIGN AND CONSTRUCTION DRAWING IS THE PROPERTY OF HOME HARDWARE STORES LIMITED AND IS NOT TO BE COPIED OR REPRODUCED WITHOUT WRITTEN PERMISSION.	<b>PROJECT NUMBER</b> 1 <b>SHEET NUMBER</b> 1
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# ELEVATIONS



NOT TO SCALE

REVISIONS	DATE	<div> <div>A</div> <div>B/C</div> </div> <p><b>NOTES</b></p> <p>1. FOR MORE INFORMATION, SEE OTHER SHEETS.</p> <p>2. SEE LOCAL REQUIREMENTS FOR S.I.T. (SEE OTHER SHEETS).</p> <p>3. SEE LOCAL REQUIREMENTS FOR S.I.T. (SEE OTHER SHEETS).</p> <p>4. SEE LOCAL REQUIREMENTS FOR S.I.T. (SEE OTHER SHEETS).</p> <p>5. SEE LOCAL REQUIREMENTS FOR S.I.T. (SEE OTHER SHEETS).</p>	<p>MODEL</p> <p>LOFT GARAGE 28' x 26'</p> <p>CUSTOMER</p> <p>STORE</p>	<p>DRAWING</p> <p>REAR &amp; RIGHT ELEVATIONS</p> <p>SCALE</p> <p>N.T.S.</p> <p>DATE</p> <p>JANUARY, 2008</p> <p>DRAWN BY</p> <p>CJM</p>	<p>CHECKED BY</p> <p>DATE</p>	<p><b>Home</b> building centre</p> <p>THIS DESIGN AND CONSTRUCTION IN DRAWING IS THE PROPERTY OF HOME HARDWARE STORES &amp; MUST BE KEPT TO BE SHOWN IN REPRODUCTION WITHOUT WRITTEN PERMISSION</p>	<p>PROJECT NUMBER</p> <p>2849503</p> <p>SHEET NUMBER</p> <p>2</p>
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FOUNDATION WALL:  
8' CURVED CONCRETE TOP AND  
WALL ON 18" X 18" DEEP CONTINUOUS  
CONCRETE FOOTING 10' TO LEGS  
BY 14.01.

UNEXCAVATED

CONCRETE PER A.  
SEE NOTE 14

CONCRETE FOR B.  
SEE NOTE 1

RECESS TOP OF FOUNDATION WALL  
4' DOOR OPENING TO ALLOW  
CONCRETE BLAS TO RUN OVER  
TYPICAL

28'-0"

36'-0"

11'-4"

11'-6 3/4"

3'-0 1/4"

17'-4"

6'-6"

11'-0"

8'-2"

2'-4"

28'-0"

A B C D E F G H I J K L M N O P Q R S T

1 2 3 4 5 6 7 8 9 10 11 12

[illegible]

**FOUNDATION NOTE**  
ALL CONCRETE FOUNDATION WORKS 4 REINFORCING TO BE RESPONSIBILITY OF GUNER  
FIRST COMPLY TO LOCAL BUILDING CODES  
AND OR BY LAWS.  
  
FOUNDATION DRAINAGE LAYER (AS REQUIRED)  
SHALL BE BY GUNER.

CONCRETE SHALL BE DESIGNED, MIXED, PLACED, CURED, & TESTED IN ACCORDANCE WITH PLAN & SPEC. "CONCRETE CONSTRUCTION FOR BRIDGES AND SMALL BUILDINGS".

AFTER 28 DAYS NON-REINFORCED CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4000 PSI.

- AFTER 18 DAYS NON-REINFORCED CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF NOT LESS THAN:
- (1) 32 MPa (4600 psi) WITH 5 TO 8% AIR EXTRACTANT FOR GARAGE AND CARPORT FLOORS AND ALL EXTERIOR FINISHWORK.
  - (2) 25 MPa (3600 psi) FOR FLOOR CONCRETE WHERE DAMP-PROOFING IS NOT BE PROVIDED.
  - (3) TO 28 MPa (4000 psi) FOR ALL OTHER APPLICATIONS UNLESS NOTED OTHERWISE

CONCRETE BLOCK SHALL CONFORM TO CAN/CSA-A65.1 "CONCRETE MASONRY UNITS" AND SHALL HAVE A COMPRESSIVE STRENGTH OVER THE NET AREA OF THE BLOCK OF NOT LESS THAN 15 MPa (2200 psi).

OR AS SPECIFIED BY LOCAL BUILDING CODE  
AND / OR BY LAW.

ALL STRUCTURAL LOAD BEARING FRAMES  
LUMBER USED FOR STUDS, PLATE JOISTS,  
RAFTERS UNLESS 1 IN. W/ BEAMS SHALL  
BE GRACE KNOTTED S-P-F 2 OR BETTER,  
S-DRY OR LUMBER OF EQUAL OR BETTER  
QUALITY

LATHS.  
ALL EXTERIOR LATHS TO BE MIN.  
1/2" FLAT AND GR. OR 3/4" RYTHM LATHS  
PLYWOOD FILLS BETWEEN EACH  
FLY, UNLESS NOTED OTHERWISE.

6557.

ALL MULTIPLE STUDY POSTS SHOWN  
TO BE MIN. 131 FLY 2x6 OR 2x4  
RESPECTIVE TO WALL. SIZE UNLESS  
OTH-DRAWING NOTED

WAX STIPS FOR OPENINGS TO BE  
MA. SINGLE FLY UNLESS SHOWN  
NOTED OTHERWISE

FLOOR SYSTEM:  
ALL FLOOR JOISTS ARE 2x12 NO. 1 S-P-F

OR BETTER / CONTINUED # 16" O-R.  
PLEASE CHECK FOR NOTES.

3/8" TAG SUB-FLOOR TO BE GLUED IN-PLACE

POSSIBLE) AND HAD TO ACIST,  
FLOOR OPENINGS  
ALL HEATER / TRIMMER ACIST TO

BE DOWNS FOR ALL FLIGHT  
CHANGES UNLESS NOTED OTHERWISE

NOTCHING & DRILLING:  
ALL NOTCHING & DRILLING OF FRAMING  
MEMBERS TO CONFORM TO NATIONAL &

LOG-4 BUILDING CODES

PREPARE SOLID BLOCKING BTWN  
FLOORS FOR LOADS 40000

INTERIOR WALLS:

ALL INTERIOR WALLS ARE 2x4 WOOD STUDS EXCEPT WHERE NOTED OTHERWISE

1. CONCRETE PIER A:  
9" DIAMETER SOLO CONCRETE PIEN C/W SADDLE SUPPORTING  
W/SLPM 5.25"x7" LSE PARALLAM 198, ENGINEERED COLUMN  
ABOVE ON A 5'x5"x2" DEEP CONG. FOOTING PAD. FOOTING  
TO BE BELOW FROST LNE (OR TO LOCAL B.Y.-L385), SUPPLIED BY OWNER

2. CONCRETE PER B-  
1' DIAMETER RIGID CONCRETE PIER & SADDLE SUPPORTING  
PISTON 4-20T 2800 SPS NO. 2 P.I. BUILT UP COLUMN ABOVE ON  
A 2'x2'x1' DEEP CONC. FOOTING PAD. FOOTING TO BE BELOW  
FROST LINE (OR TO LOCAL B.Y.-L.A.B.). SUPPLIED BY OWNER

### MAIN FLOOR PLAN

A	DETAIL NUMBER
B	SHEET NUMBER - WHERE DETAIL REQUIRED
C	SHEET NUMBER - WHERE DETAIL

NOTES

- 1. PLANE AND IN A CONTAINER TO WATER, READ 2000 PSI, 48-50'S
- 2. WHEN IN PLANE AND THROUGH AIR TO IN CONTAINER AND IN CONTAINER TO AIR, WATER, BY THE WATER TO BE REPRODUCED TO BE CARS
- 3. BE IN PLANE, IN THE CONTAINER

LOFT GARAGE 28' x 26'

CUSTOMER \_\_\_\_\_  
STORE \_\_\_\_\_

DRAWING

FOUNDATION & LOFT FLOOR FRAMING PLANS

SCALE	N.T.S.	CHECKED BY
DATE	JANUARY, 2003	DATE
DRAWN BY	CJM	



THE UNIVERSITY OF CHICAGO PRESS  
607 SOUTH MICHIGAN AVE.  
CHICAGO, ILLINOIS 60605-1098

**PROJECT NUMBER**

SHEET 4 OF 4

3

# FLOOR PLANS

PRODUCT CODE	SIZE	MANUFACTURER'S R.S.O.	COUNT
C52-4854	4'-0" x 4'-6"		2
H52-4836	4'-0" x 3'-0"		5
1/2 ROUND	4'-0"x2'-0"		2

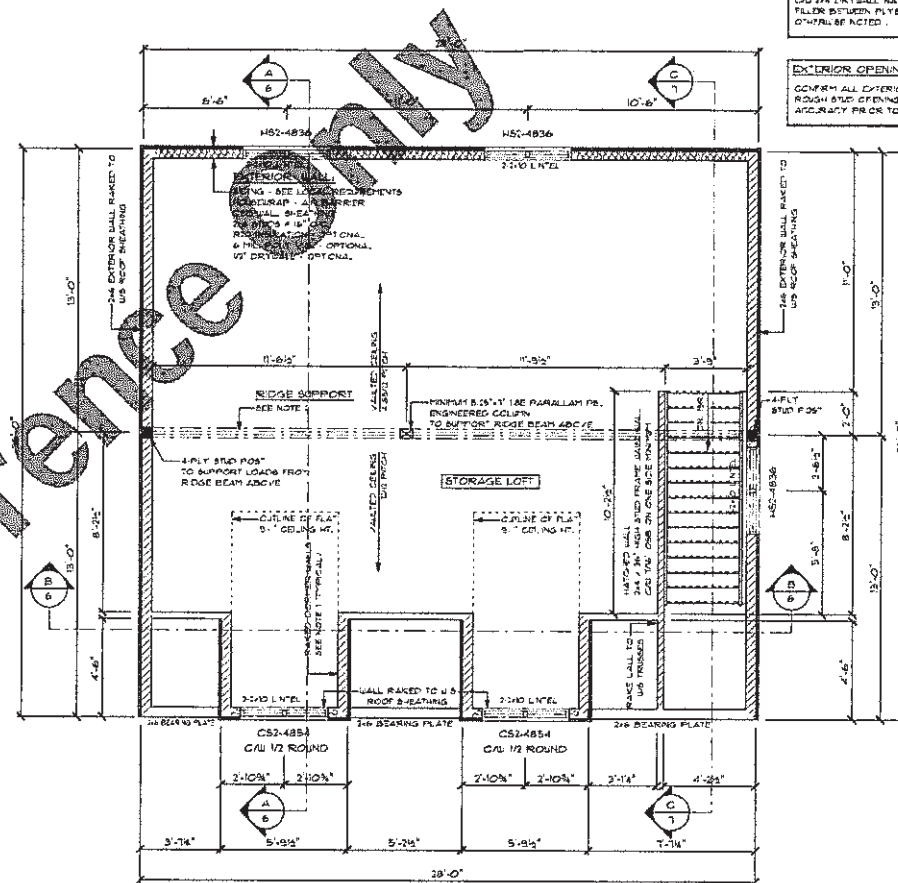
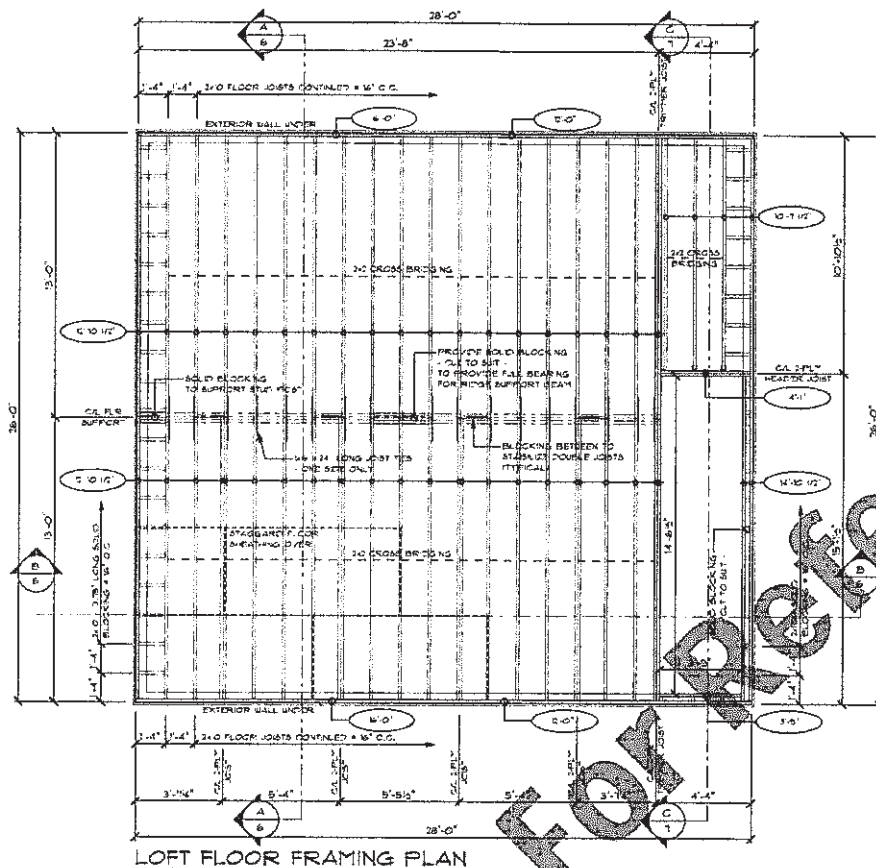
CONFIRM ALL EXTERIOR WINDOW AND DOOR ROUGH AND  
 FINISHING SIZES TO INSURE ACCURACY PRIOR TO CONSTRUCTION.

ALL STRUCTURAL LUGS, BEARINGS, FRAMING LUMBER USED FOR STUDS, PLATE JOISTS, RAFTERS, LINTELS & ALL "UP" BEAMS SHALL BE GRADE STAMPED, SPRUCE-PINE-FIR (S.P.F.) NO. 2 S.D.F. (OR BETTER), S-DRY OR LUMBER OF EQUAL OR BETTER QUALITIES.

STAIR RAILING NOT SHOWN FOR CLARITY.  
ALL INTERIOR RAILINGS SHALL BE BY OWNER.

ALL EXTERIOR LINTLS SHALL BE 2 PL" - 2X10  
OR 2X4 DRYWALL NAILED 1" PL WOOD  
FRIED BETWEEN PLTS. TYPICAL UNLESS  
OTHERWISE NOTED.

CONFIRM ALL EXTERIOR WINDOW AND DOOR  
ROUGH STUD GREENING SITES TO ENSURE  
ACCURACY PRIOR TO CONSTRUCTION



LOFT PLAN

1. ROOF EXTERIOR ROOFER WALLS,  
FORMER WALLS TO BE FRAMED OVER 1 UNDER DOUBLE TRUSS  
7" 6" B.B. WALL 5' EATING, 2x6 SILL @ 16" C.C. VINYL SIDING (OPTIONAL),  
TRAP BAR (OPTIONAL) R20 BATT INSULATION (OPTIONAL) 6 MI POLY  
V.B. (OPTIONAL) 1" DRYWALL (OPTIONAL).

2. ROOF SUPPORT:  
MINIMUM 3-PLY 1" x 8" x 10" OR EQUIVALENT LVL BEAM  
SEATING ON MINIMUM 4" x 6" STUD PILES OR AS SPECIFIED ON PLAN.

NOT TO SCALE

RF# 0304 DATE <div style="display: flex; align-items: center;"> <div style="border: 1px solid black; padding: 5px; margin-right: 10px;">           A B C         </div> <div>           A DETAIL NUMBER            B SHEET NUMBER -            WHERE DETAIL REQUIRED            C SHEET NUMBER -            WHERE DETAIL            NOTED            1. DRAWING NUMBERED 2. DETAIL            DRAWING REQUIRED            3. SPECIAL NUMBER APPLICABLE TO            DETAILING AND DRAWING TO BE            USED IN ALL DRAWINGS            4. DETAIL NUMBER TO BE            USED IN ALL DRAWINGS         </div> </div>	MODEL LOFT GARAGE 28' x 26' CUSTOMER STORE DATE JANUARY, 2002 DRAWN BY GJM	DRAWING LOFT FLOOR FRAMING & LOFT PLANS SCALE N.T.S. CHECKED BY DATE DRAWN BY GJM	<div style="display: flex; align-items: center;"> <div> <p>THIS DESIGN AND RECONSTRUCTION DRAWING IS THE PROPERTY OF HOME HARDWARE CENTRE LIMITED AND IS NOT TO BE BORROWED OR REPRODUCED WITHOUT WRITTEN PERMISSION</p> </div> </div>	PROJECT NUMBER SHEET NUMBER <div style="border: 1px solid black; width: 40px; height: 40px; display: flex; align-items: center; justify-content: center; font-size: 24px; margin: 0 auto;">4</div>
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